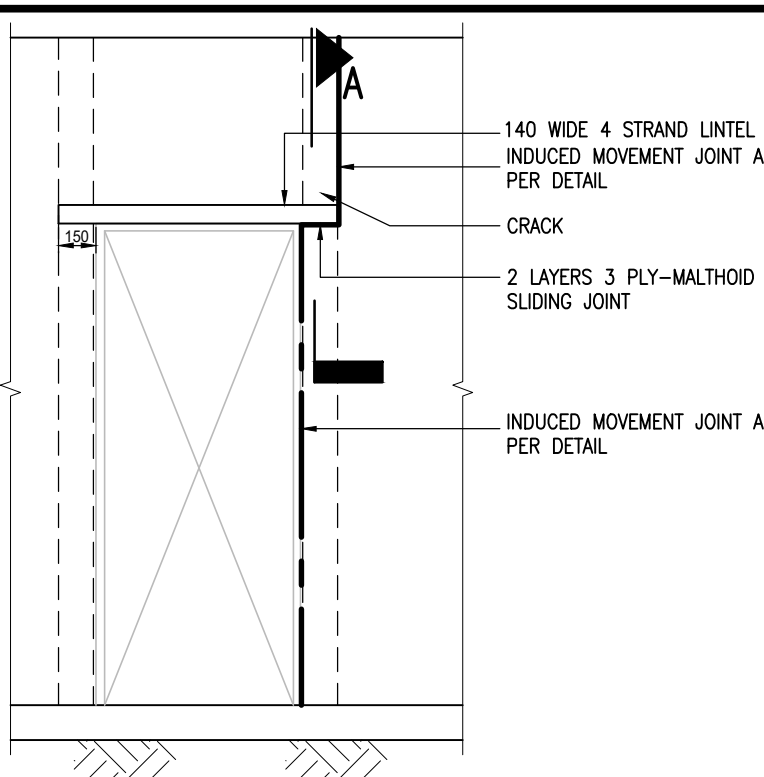
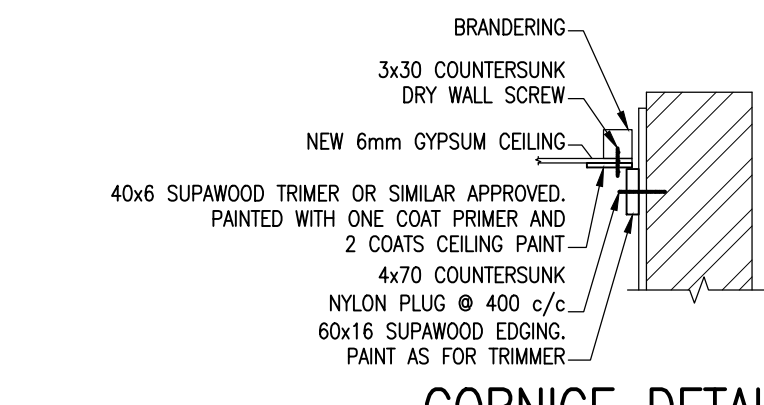


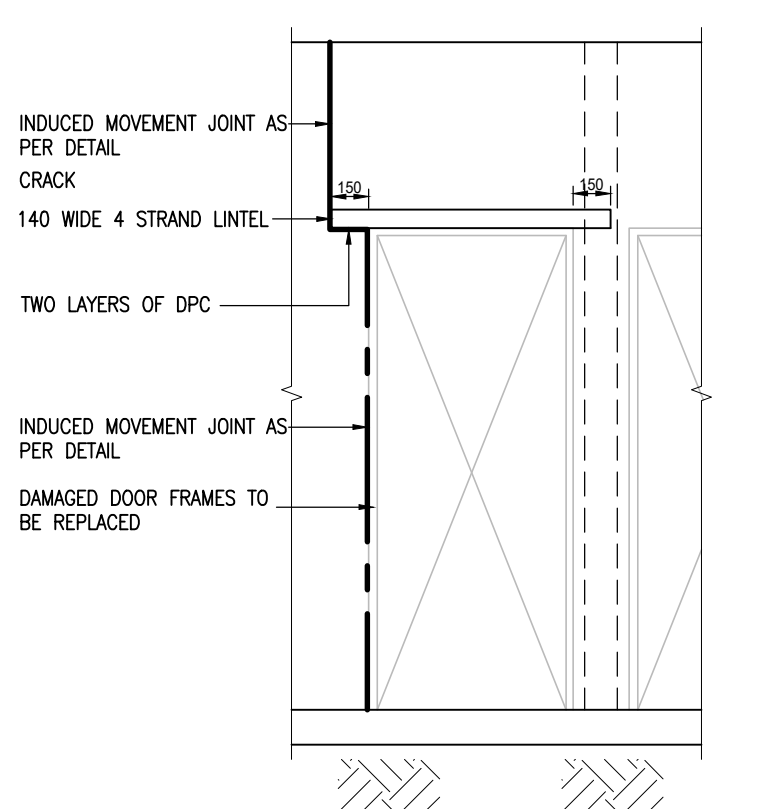
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SCALE 1:50



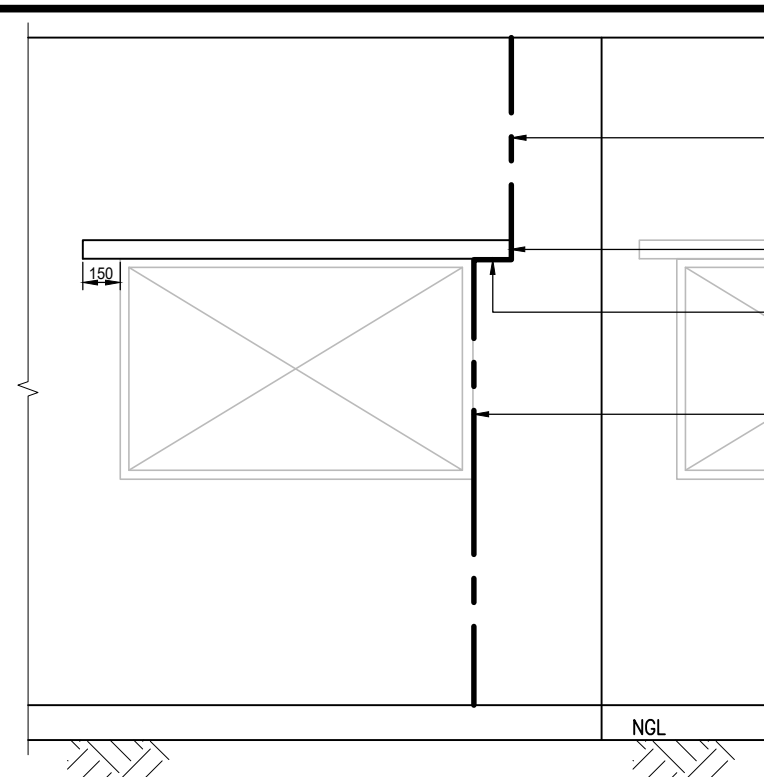
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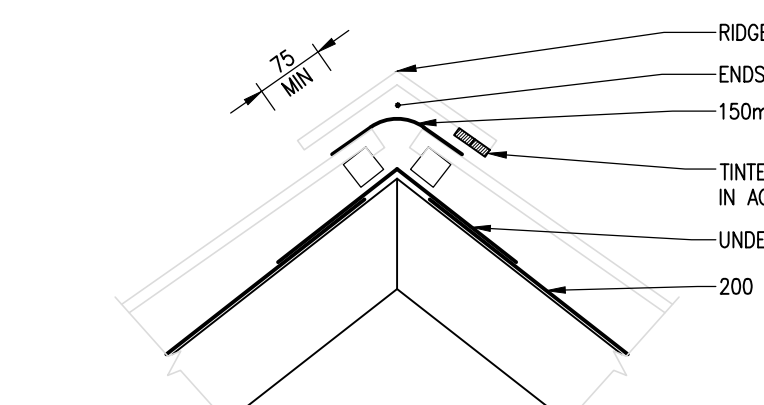
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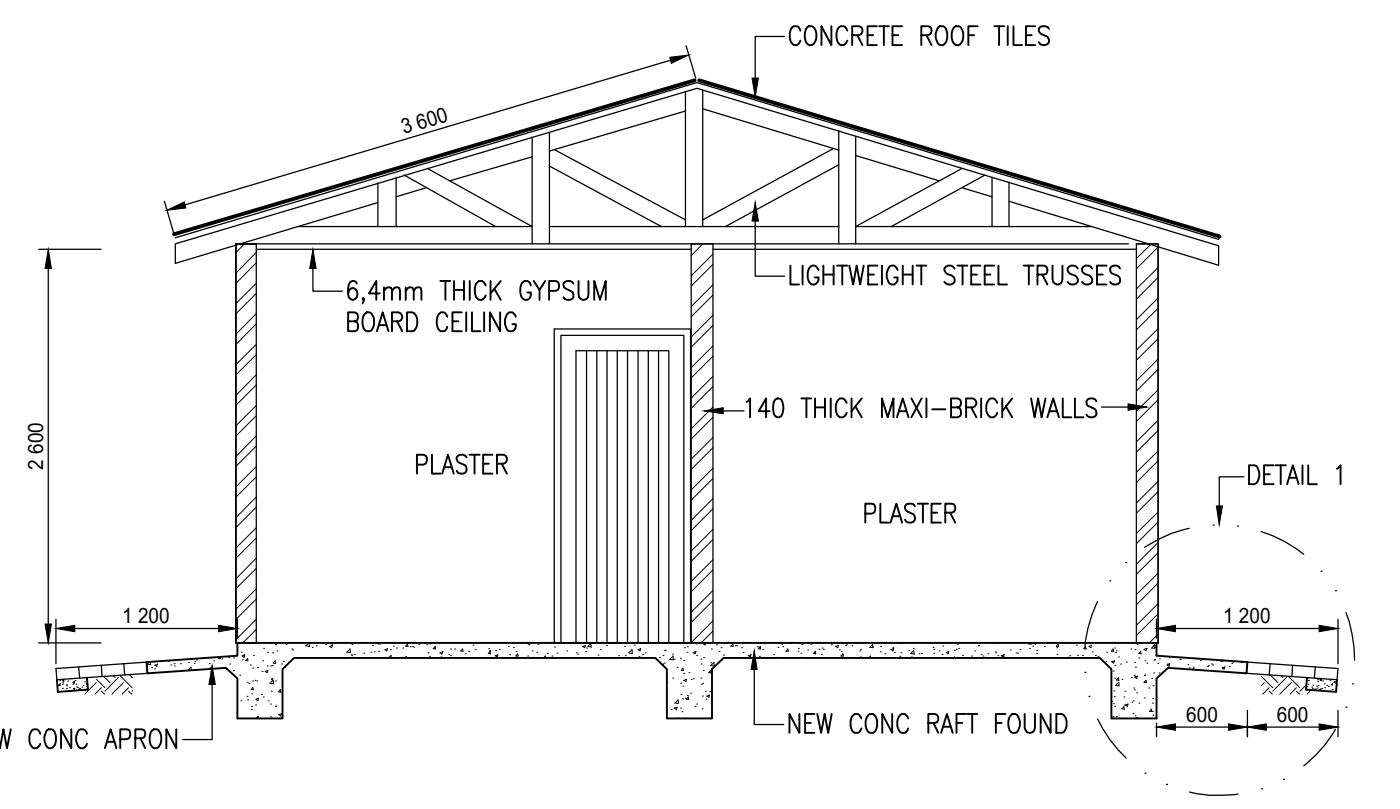
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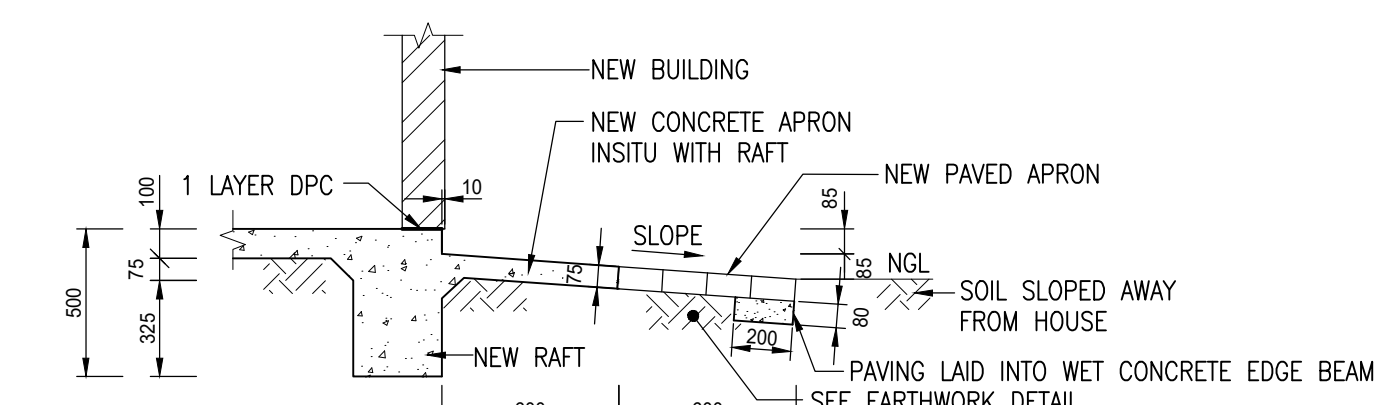
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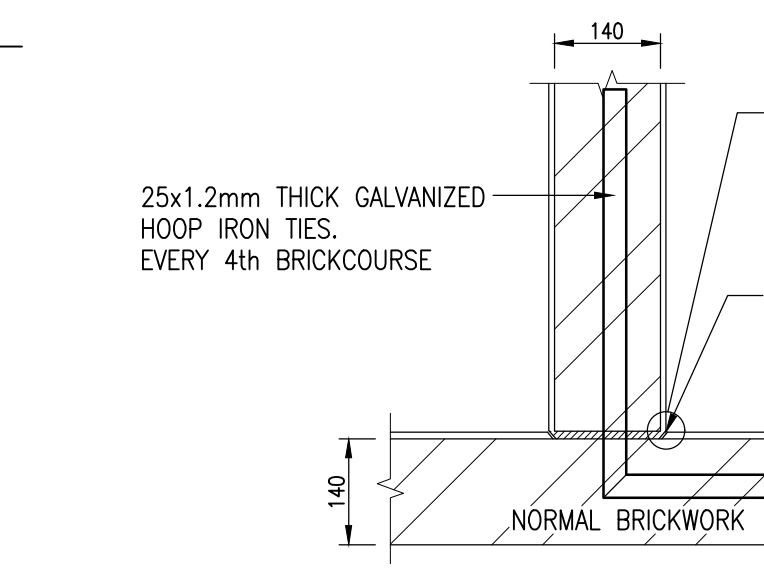
RIDGE CAP DETAIL
SCALE 1:10



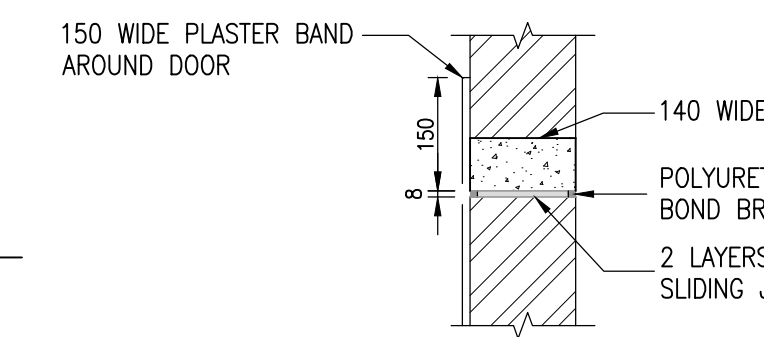
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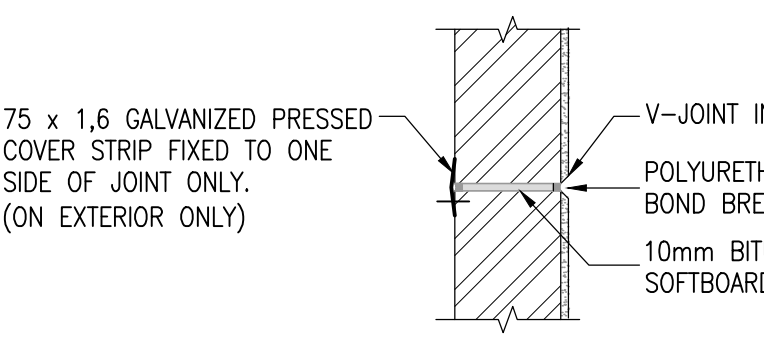
DETAIL 1
SCALE 1:25



V-JOINT DETAIL
SCALE 1:10



SECTION A-A
SCALE 1:10



JOINT DETAIL
SCALE 1:10

NOTES:

ALL BUILDING MATERIAL TO BE SABS APPROVED (STAMPED WHERE APPLICABLE) ALL WORKMANSHIP TO BE CARRIED OUT IN ACCORDANCE WITH NATIONAL HOME BUILDING REGULATIONS AND BUILDING STANDARDS ACT (ACT 103 OF 1977, AS AMENDED) AND THE NHBC HOME BUILDING MANUAL. IN CASE OF UNCERTAINTY NATIONAL BUILDING REGULATIONS AND THE NHBC HOME BUILDING MANUAL SHOULD TAKE PRECEDENCE. ALL FOUNDATION INSPECTIONS TO BE ACCOMPANIED BY THE ENGINEER AND WALL PLATE INSPECTION TO BE DONE ON UN-PLASTERED WALLS.

ROOF:

- CONCRETE ROOF TILES FIXED TO LIGHTWEIGHT STEEL PURLINS ON LIGHTWEIGHT STEEL TRUSSES AT 17.5 PITCH WITH UNDERLAY TO BE REMOVED AND STORED FOR RE-INSTALLATION. ROOF TILES TO BE FIXED TO LIGHTWEIGHT STEEL PURLINS AT A PITCH OF 17.5 UNDERLAY TO BE REMOVED AND DISCARDED. NEW 1500PM UNDERLAY TO BE FIXED TO LIGHTWEIGHT PURLINS
- ROOF TRUSSES TO BE SECURED TO BRICKWORK BY MEANS OF A DOUBLE STRAND OF 3.5MM GALVANISED WIRE AT EACH TRUSS. THEY ARE TO EXTEND 5 COURSES INTO THE BRICKWORK AND TAKEN UP ON EITHER SIDE OF THE TRUSS.

DOORS, DOOR AND WINDOW FRAMES:

- INTERNAL DOORS: ALL INTERIOR DOORS ARE TO BE HOLLOW CORE HARDBOARD WITH 2 LEVER LOCKSET WITH CHROME HANDLE.
- EXTERNAL DOORS: EXTERNAL DOORS ARE TO BE MERANTI FL&B FLUSH DOOR WITH 3 LEVER LOCKSET AND CHROME HANDLE.
- DOOR FRAMES: DOOR FRAMES (2031X813X140) ARE TO BE STANDARD 1.2MM PRESSED STEEL DOUBLE REBATED AND PRIMED WITH RED OXIDE PAINT PRIMER.
- WINDOW FRAMES: WINDOW FRAMES NC4F, NC1, NC2 & NC4 CISCO FRAMES TO BE REMOVED AND STORED FOR RE-INSTALLATION

CEILING:

- 6.4MM THICK GYPSUM BOARD FIXED TO LIGHTWEIGHT STEEL BRANDING AND IN ONE DIRECTION WITH H-SECTION METAL CORNER STRIPS, PAINTED WHITE CORNICE: REFER TO CORNICE DETAIL.

INSULATION:

- 135MM AEROLITE INSULATION AS PER SANS 10400 XA TO BE INSTALLED ABOVE CEILINGS

EXCAVATION, FOUNDATION AND FLOORS:

- NO PRE-TREATMENT FOR ANT POISON IS REQUIRED
- EARTHWORKS AND CONCRETE RAFT TO ENGINEERS DRAWINGS AND SPECIFICATIONS

BRICKWORK & PLASTER

- EXTERNAL BRICKWORK IN CEMENT 140MM MAXI-BRICKS IN SINGLE SKIN
- INTERNAL BRICKWORK IN CEMENT 140MM MAXI-BRICKS IN SINGLE SKIN
- BRICK FORCE EVERY 4 COURSES AND EVERY LAYER FOR 4 COURSES ABOVE WINDOWS, DOORS AND OPENINGS
- ALL EXTERNAL WALLS ARE BAG WASHED AND A 150mm WIDE PLASTER BAND AROUND ALL WINDOWS AND DOORS
- INTERNAL WALLS ARE PLASTERED

FINISHES

- EXTERNAL WALLS TO BE PAINTED WITH: 2 COATS AFRICOAT ON OLD WALLS AND 1 COAT AFRICOAT ON NEW WALLS, OR SIMILAR APPROVED PRODUCT
- INTERNAL WALLS TO BE PAINTED WITH UNDERCOATED AND 2 LAYERS OF PLASCON OR SIMILAR APPROVED PAINT
- ALL METAL WINDOW AND DOOR FRAMES TO BE PAINTED WITH 2 COATS OF ENAMEL PAINT
- MERANTI BACK AND FRONT DOOR TO BE STAINED AND PAINTED WITH 2 COATS OF POLYURETHANE VARNISH

PLUMBING:

- ALL PLUMBING TO CONFORM TO THE specifications FROM THE WET SERVICES ENGINEER

GLAZING:

- ALL GLAZING SHALL BE 3MM CLEAR GLASS EXCEPT FOR THE TOILET AREAS WHICH SHALL BE OBTAINED
- FIXED WITH PUTTY

LANDSCAPING

- NATURAL GROUND TO BE SHAPED TO DRAIN WATER AWAY FROM HOUSE

NOTES:

- DRAWINGS MUST NOT BE SCALED. ALL MEASUREMENTS TO BE CONFIRMED ON SITE.
- DRAWINGS TO BE READ WITH THE GENERAL NOTES DRAWING AND ALL TYPICAL DETAIL DRAWINGS WHERE APPLICABLE.
- DRAWINGS TO BE READ WITH THE CIVIL DRAWINGS AND ALL DISCREPANCIES TO BE REPORTED TO THE RESPONSIBLE ENGINEER IMMEDIATELY.
- DRAWINGS TO BE READ WITH THE PROJECT SPECIFICATIONS AND APPLICABLE SANS 1200 CODES.
- 150mm WIDE PLASTER BAND AROUND ALL WINDOWS AND DOORS

AS-BUILT RECORD

CONTRACT No.	DESCRIPTION	CERTIFIED BY	DATE

CERTIFIED AS-BUILT FOR CONTRACT :
ECSA Reg. No:

ENGINEER	DATE

VERSION/AMENDMENTS

No.	DATE	DESCRIPTION	AUTHORISED BY
1.0	2021/04/01	ISSUED FOR TENDER	F. DE KOCK

PROJECT TITLE:

LERATO PARK
REPAIR OF 491 RDP HOUSES

DRAWING TITLE:

40m² TYPE A HOUSE
TO BE RE-BUILT
PLAN, SECTION & ELEVATION

DATE: 2019/04/03	CO-ORDINATE SYSTEM:
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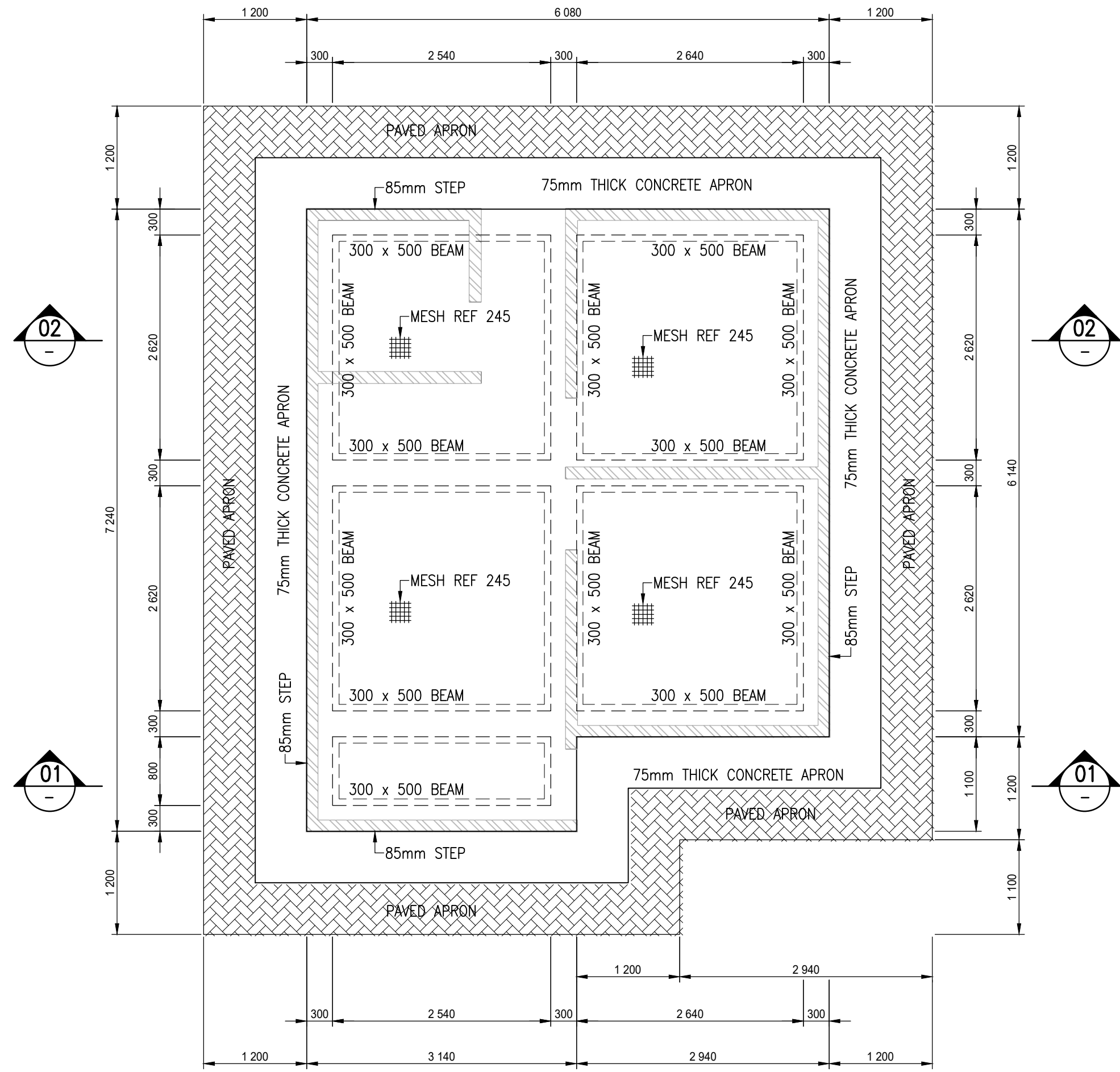


Doing good while doing business

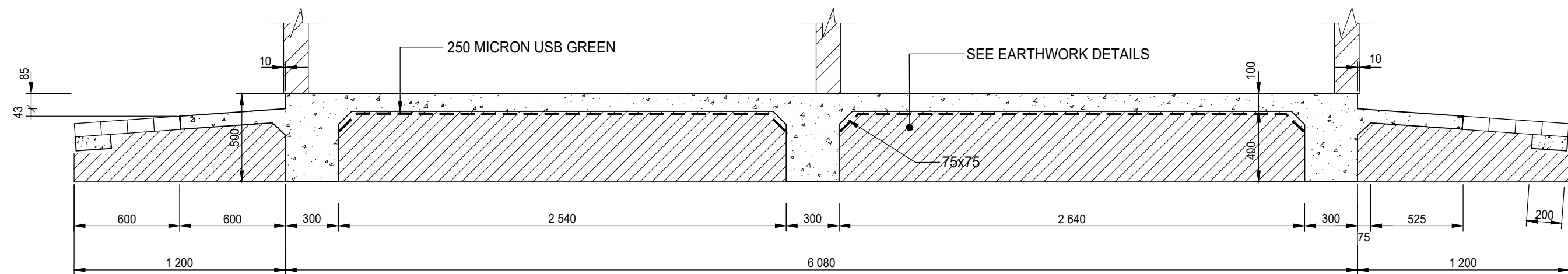
Allan Cormack Street
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Perseus Pretoria
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Fax: + 27 (0) 12 843 9000/9001
E-mail: pretoria@bigenngroup.com
www.bigenngroup.com

SURVEYED	DESIGNED	F. de Kock
DRAWN	CHECKED	F. de Kock
APPROVED ON BEHALF OF BIGEN:		ECSA Reg. No:
ENGINEER:		DATE:
DRAWING No:	VERSION:	
2334.50.02.SUA.14.U001	1.0	
APPROVED:		DATE:
CLIENT OR ASSIGNEE:		DATE:
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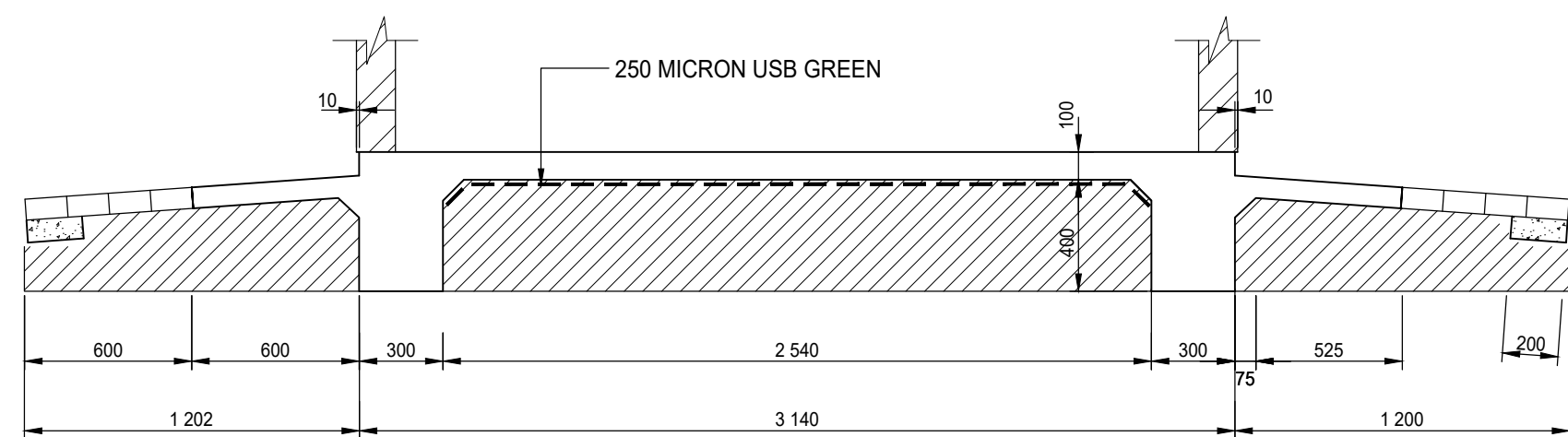
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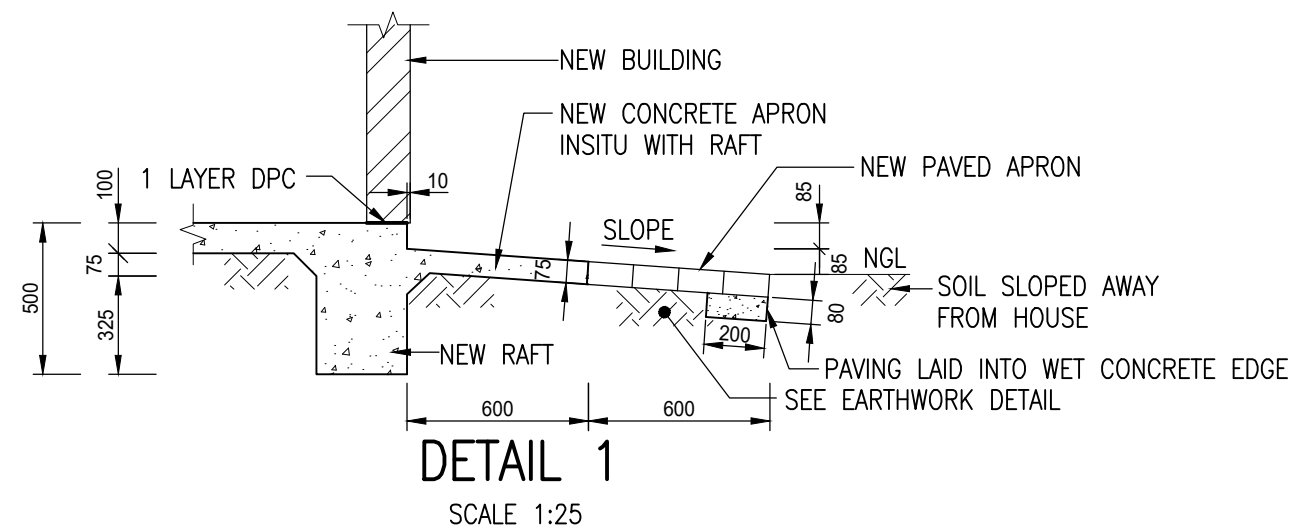
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SCALE 1:50



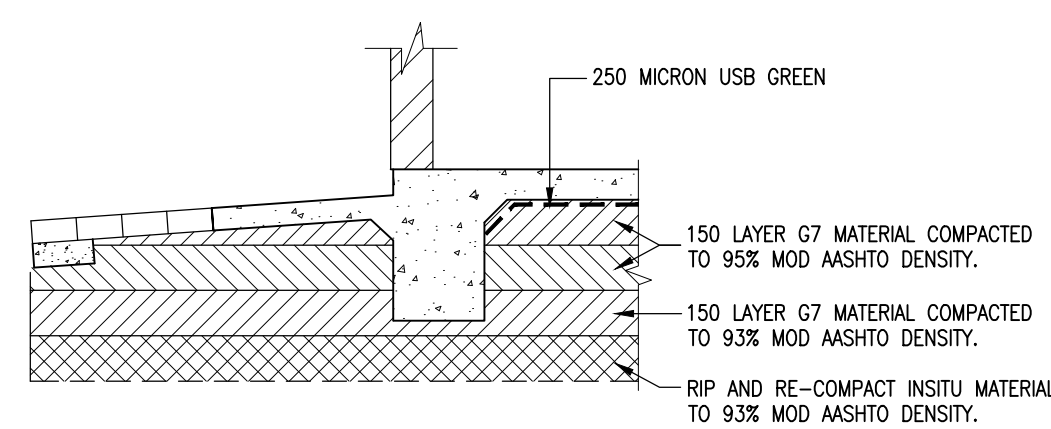
SECTION 02-02
SCALE 1:25



SECTION 01-01
SCALE 1:25



DETAIL 1
SCALE 1:25



EARTHWORK LAYER DETAIL
SCALE 1:25

NOTES:

1. CONCRETE FOR RAFT TO BE CLASS 25/19
2. CONCRETE COVER TO BEAM STIRRUPS TO BE 50mm
3. SLAB REINFORCEMENT TO BE PLACED IN CENTRE OF SLAB: ie 40mm COVER FOR TOP AND BOTTOM
4. POSITION OF HOUSE, QUALITY OF FILL MATERIAL, COMPACTIVE EFFORT, FLOOR LEVEL AND REINFORCEMENT OF RAFT ALL TO SIGNED OFF BY ENGINEER BEFORE ANY CONCRETE IS CAST.

AS-BUILT RECORD

CONTRACT No.	DESCRIPTION	CERTIFIED BY	DATE

CERTIFIED AS-BUILT FOR CONTRACT :
ECSA Reg. No:

ENGINEER	DATE

VERSION/AMENDMENTS

No.	DATE	DESCRIPTION	AUTHORISED BY
1.0	2021/03/17	ISSUED FOR TENDER	F. DE KOCK

PROJECT TITLE:

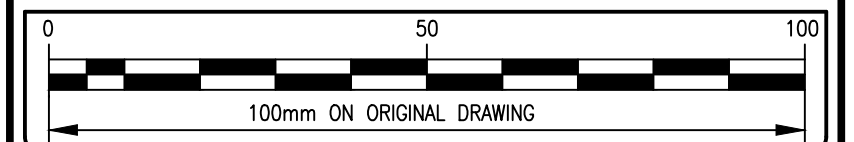
LERATO PARK REPAIR OF 491 RDP HOUSES

DRAWING TITLE:

40m² TYPE A HOUSE RAFT FOUNDATION PLAN & SECTIONS

DATE: 2019/04/03	CO-ORDINATE SYSTEM:
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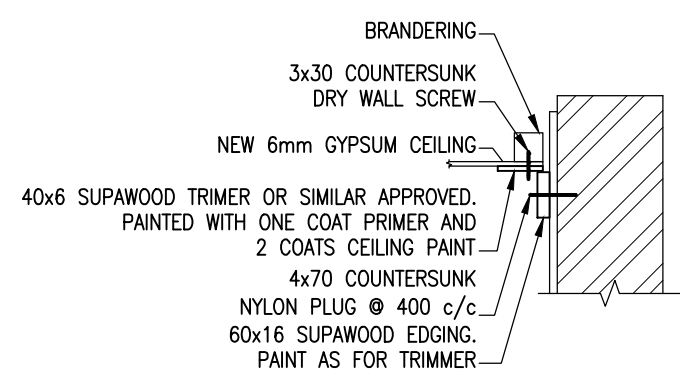
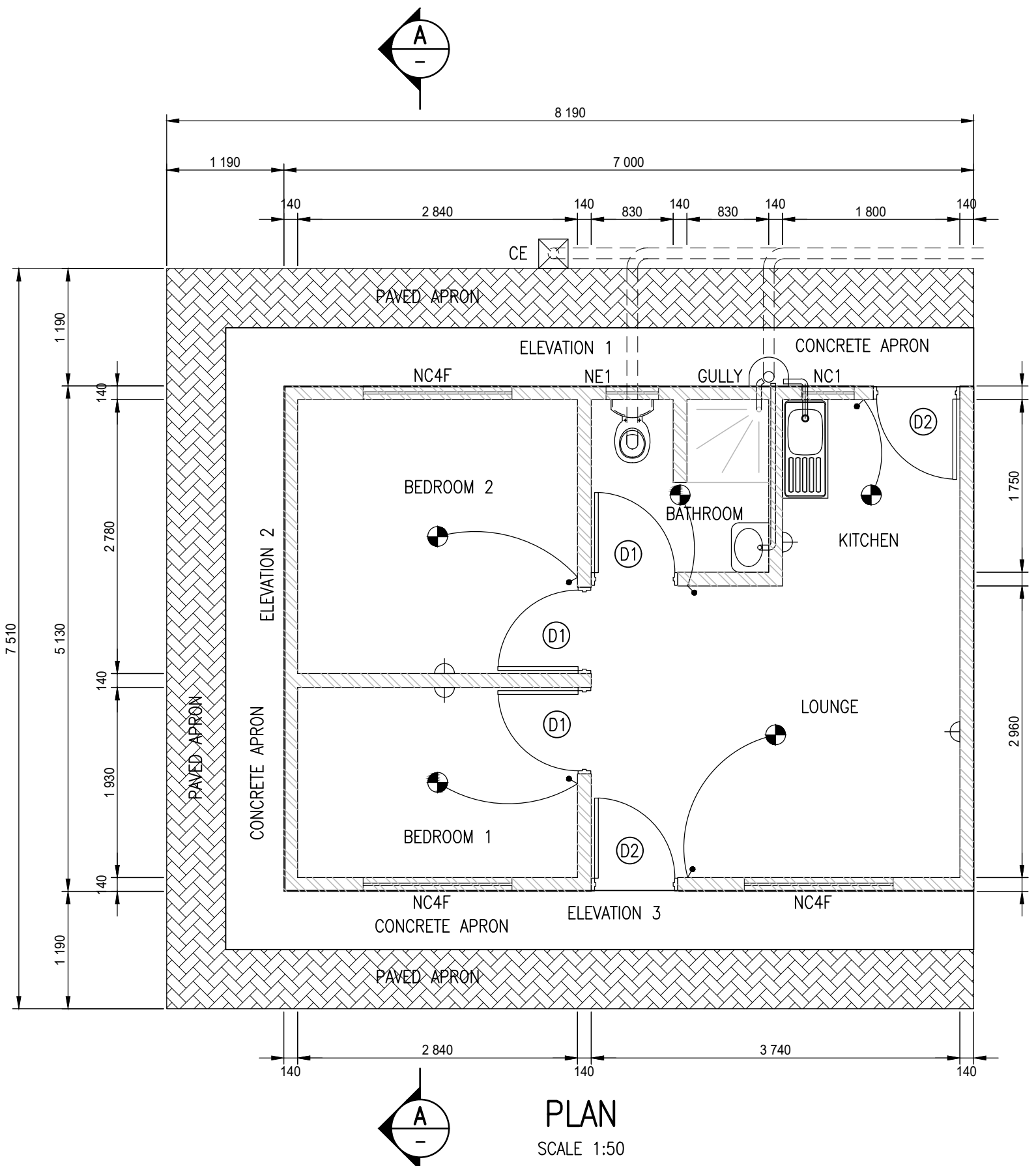
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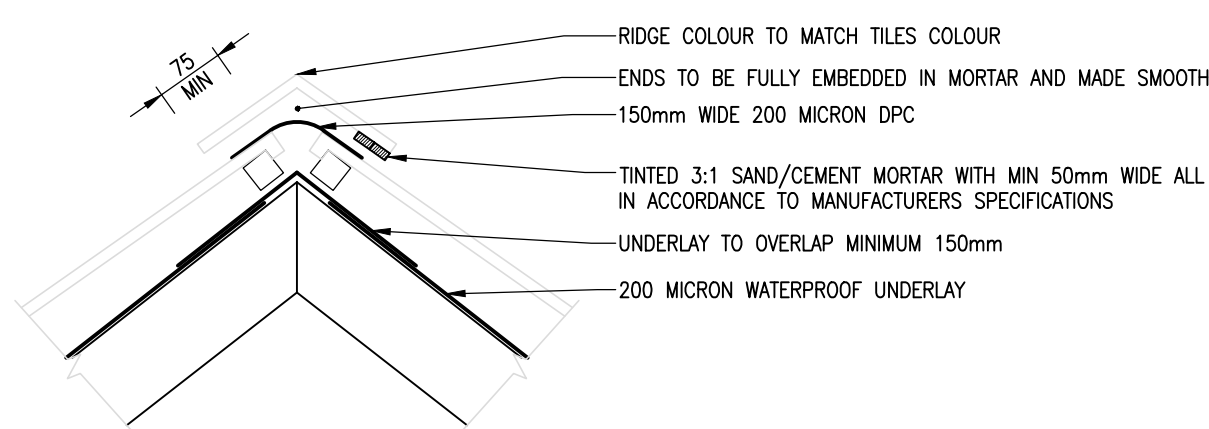
Allan Cormack Street
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Perseus Pretoria
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0087
Tel: +27 (0) 12 842 8700
Fax: +27 (0) 12 843 9000/9001
E-mail: pretoria@bigengroup.com
www.bigengroup.com

SURVEYED		DESIGNED	F. de Kock
DRAWN	F. du Toit	CHECKED	F. de Kock
APPROVED ON BEHALF OF BIGEN:		ECSA Reg. No:	
ENGINEER:		DATE:	
DRAWING No:	2334.50.02.SUA.14.U002	VERSION:	1.0
APPROVED:		DATE:	
CLIENT OR ASSIGNEE:		CLIENT:	
DRAWING No.:		REF No.:	

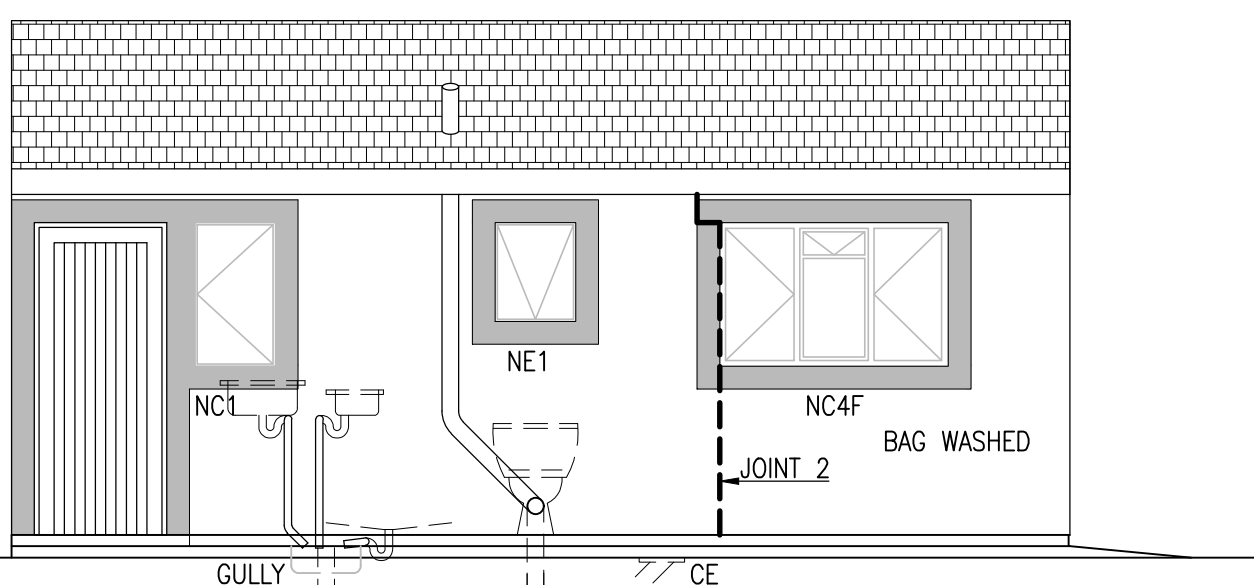
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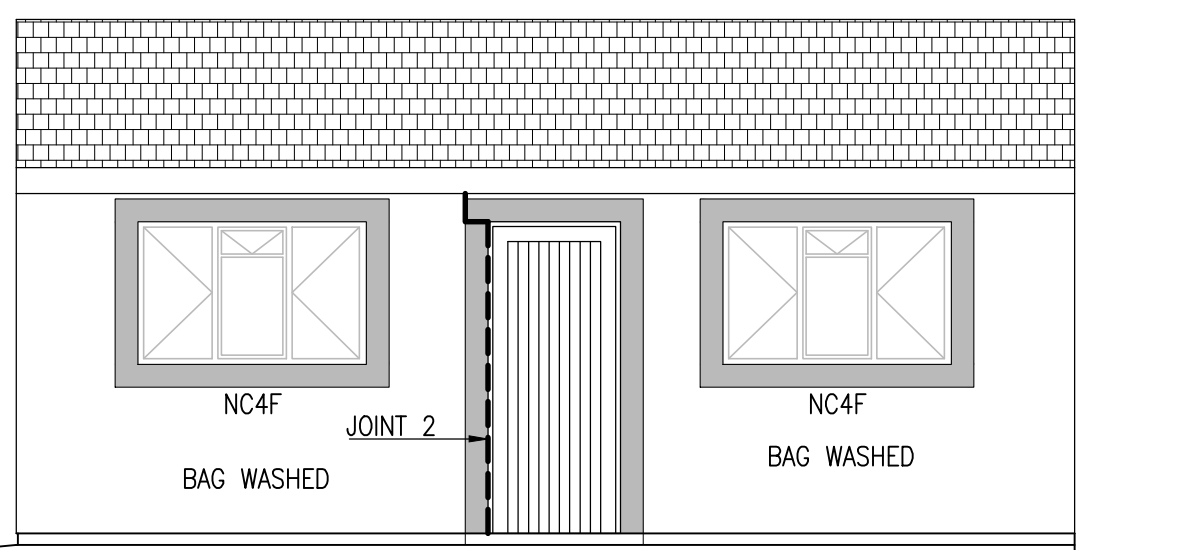
CORNICE DETAIL
SCALE 1:5



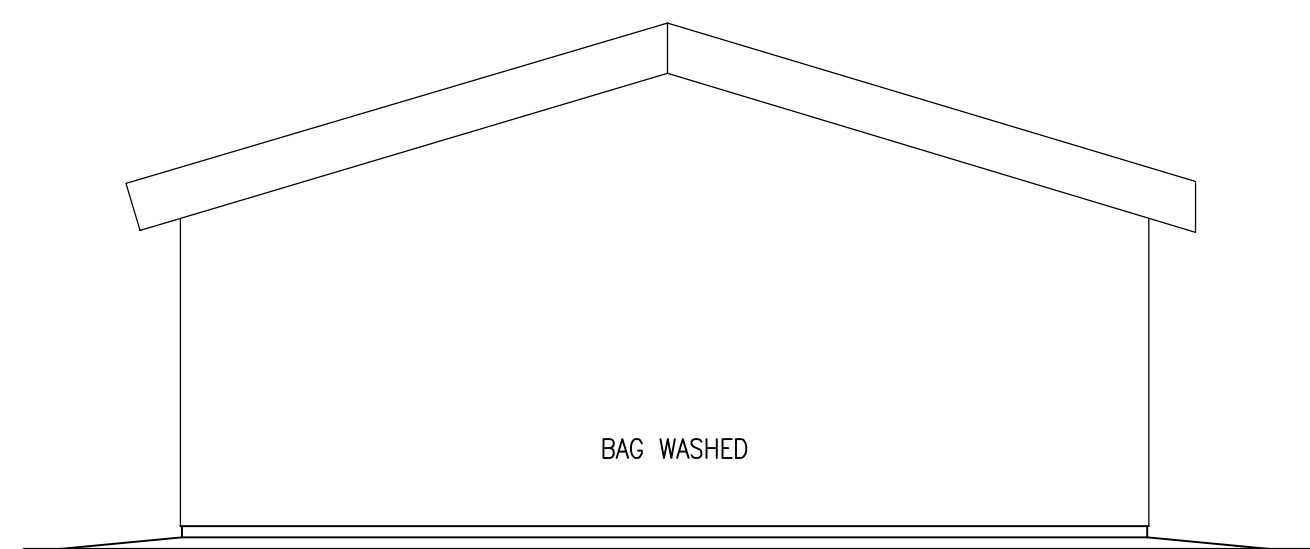
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SCALE 1:10



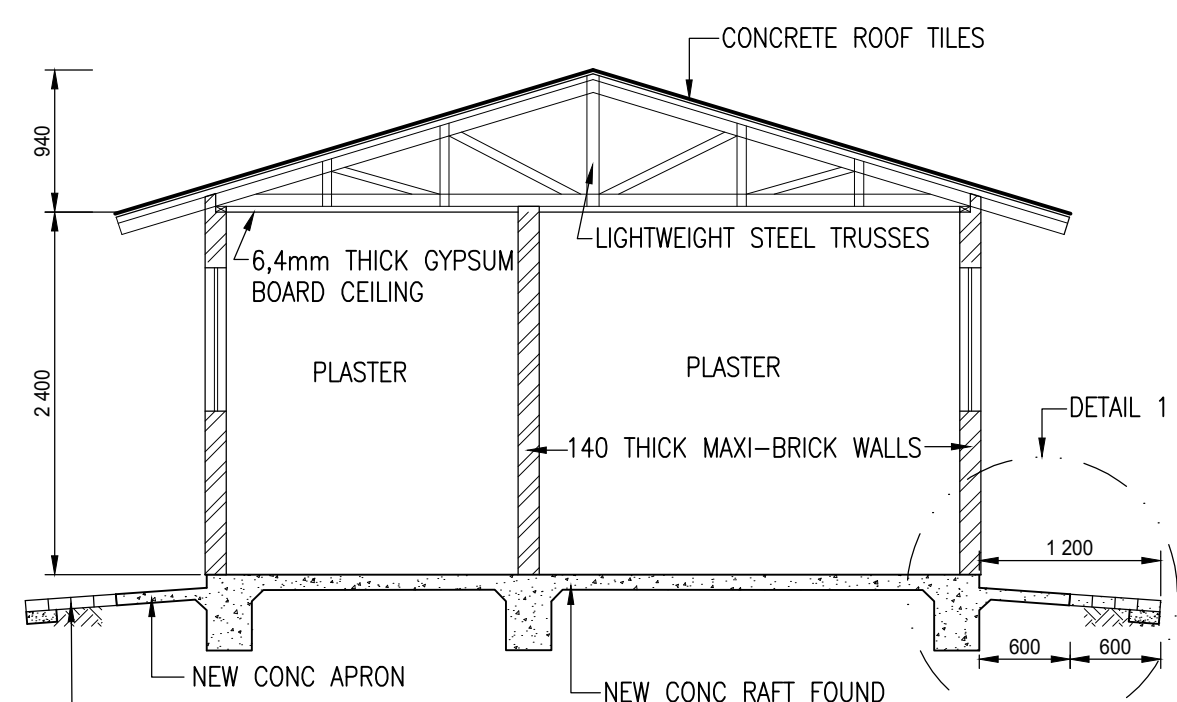
ELEVATION 1
SCALE 1:50



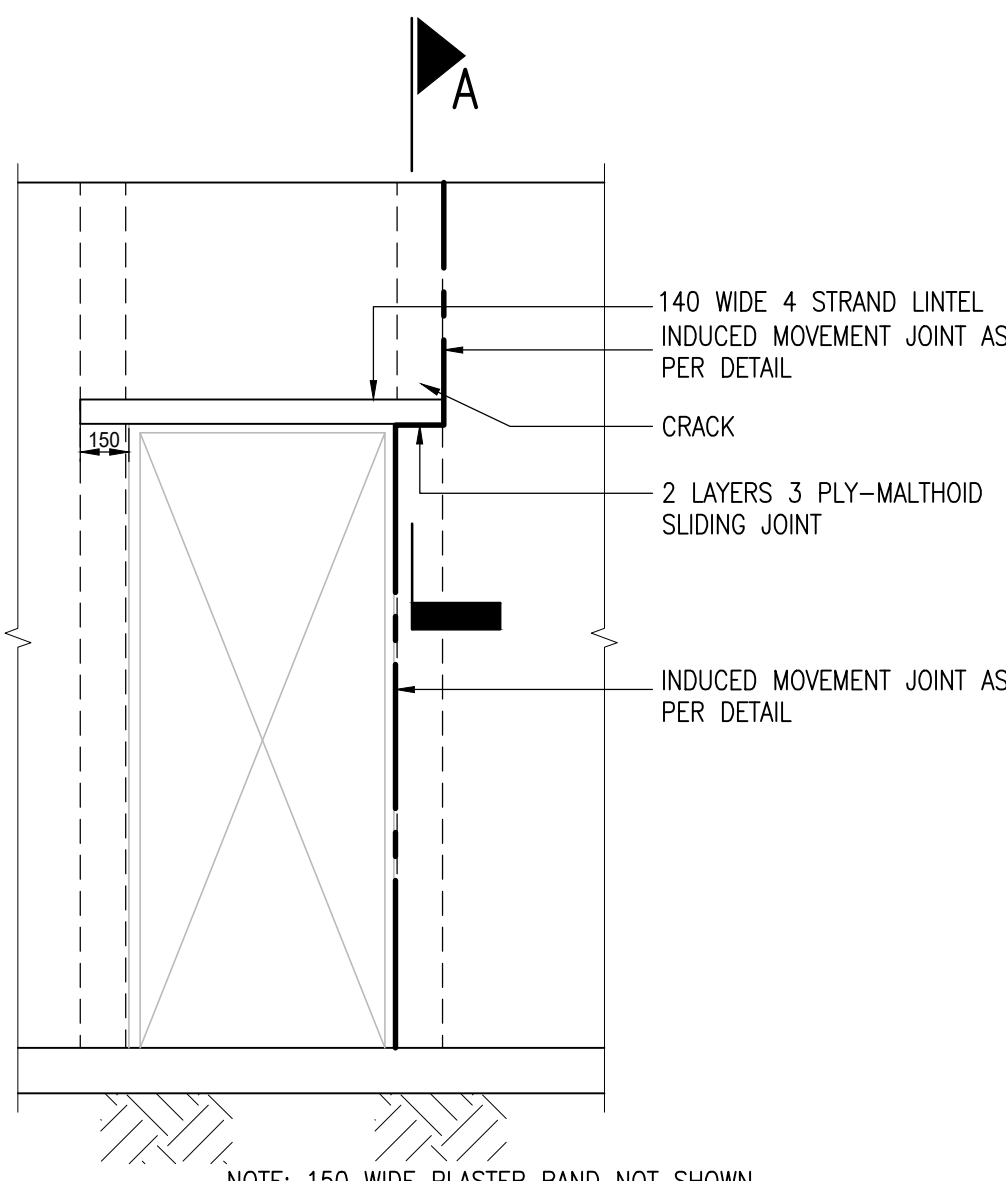
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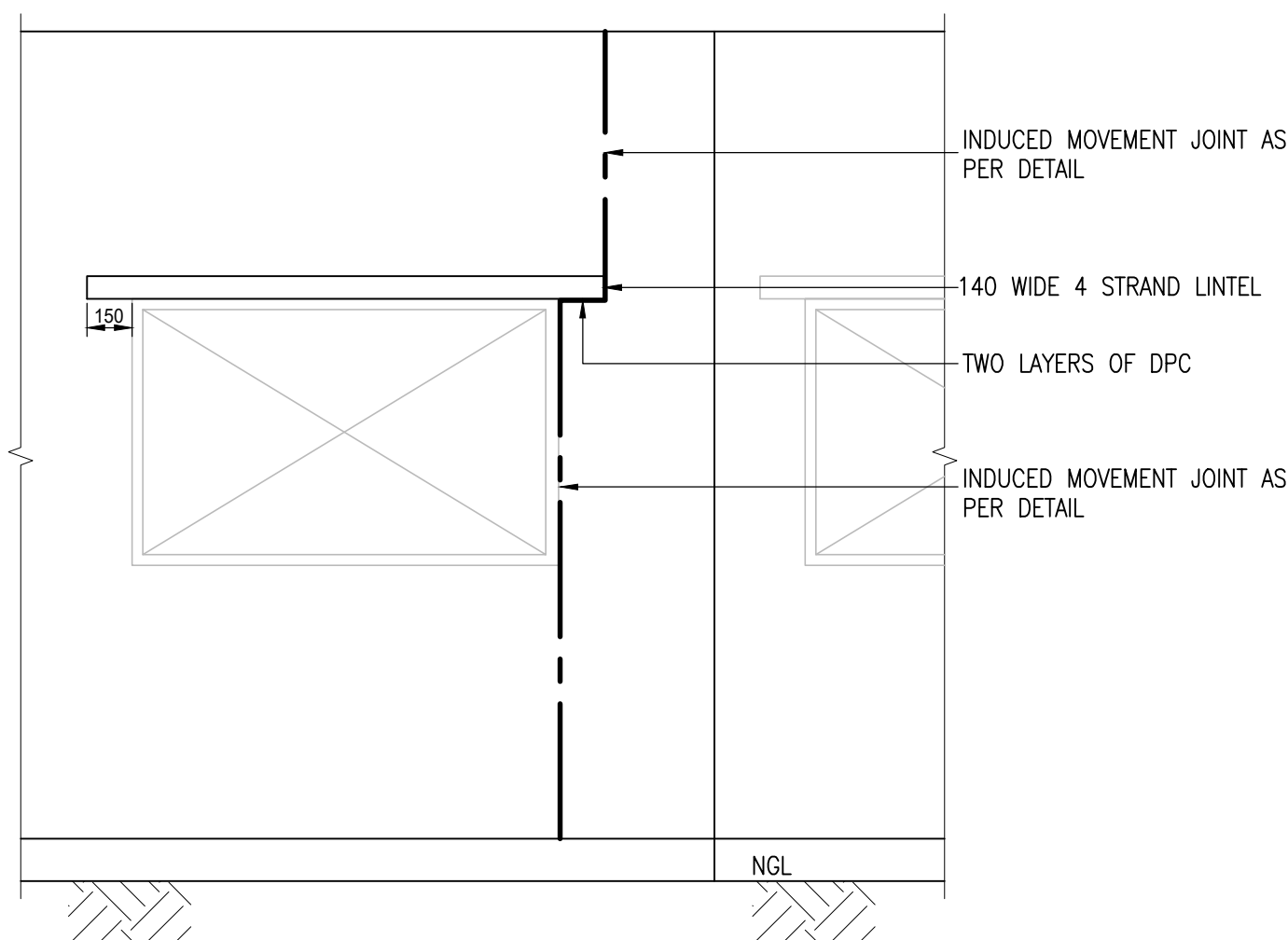
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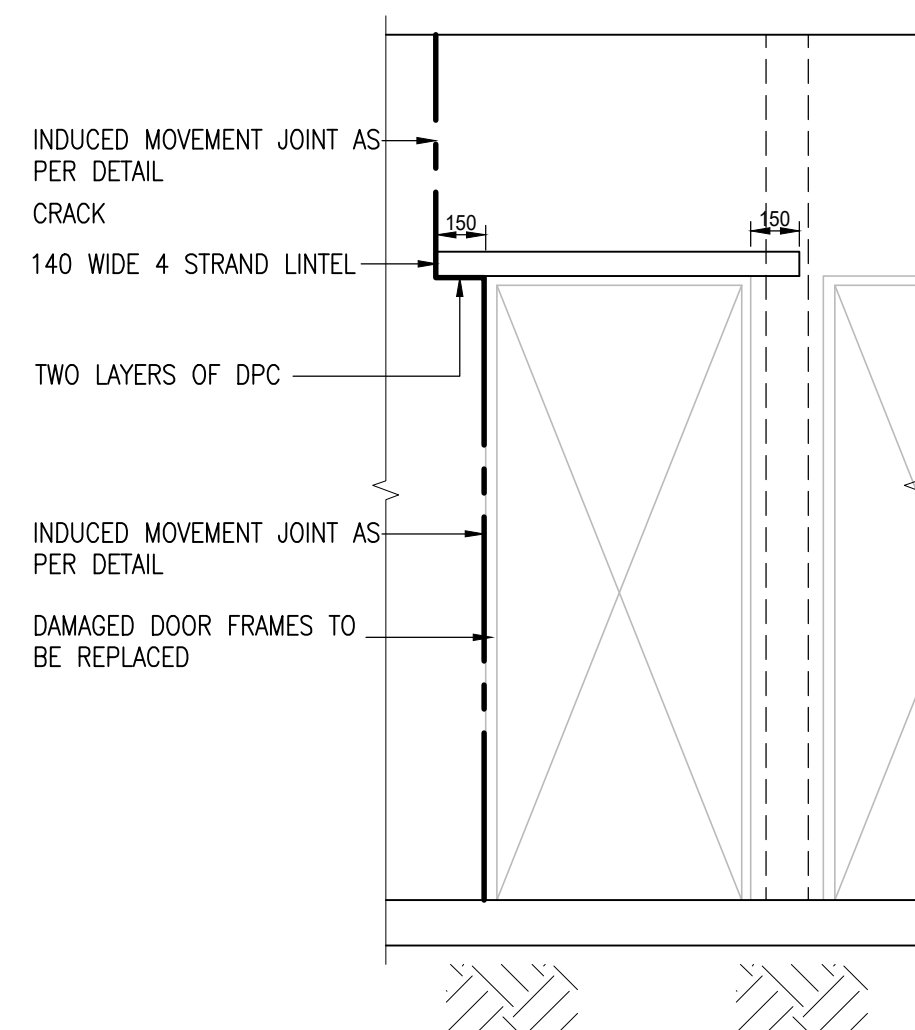
SECTION A-A
SCALE 1:50



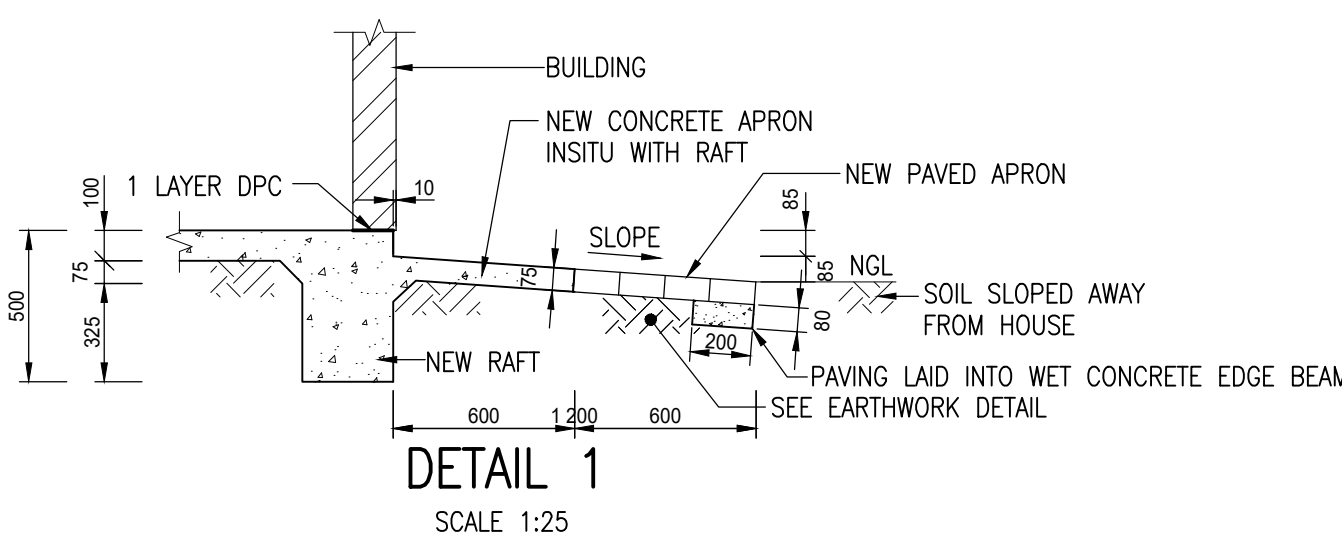
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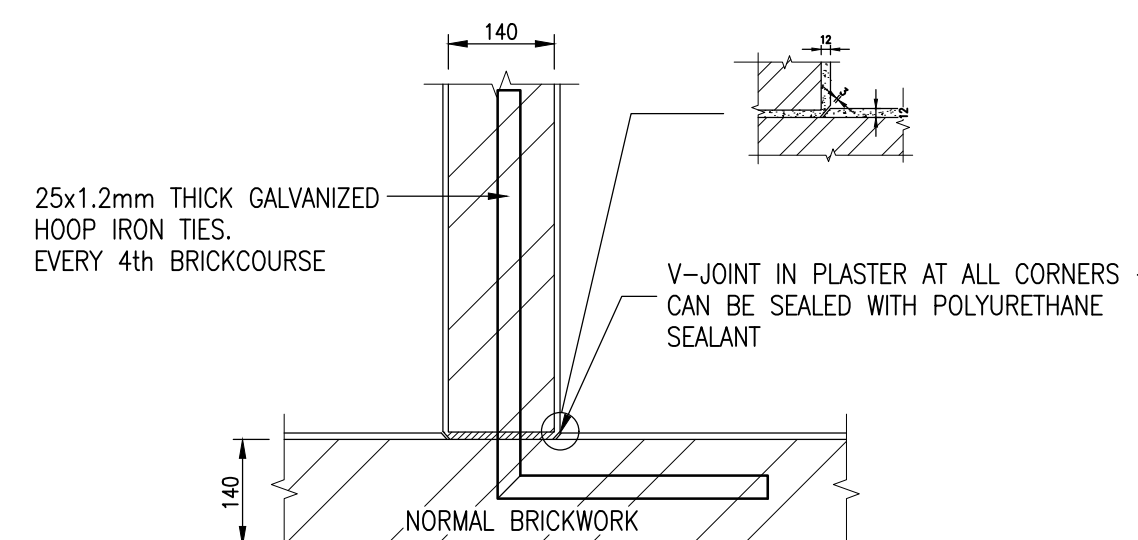
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SCALE 1:25



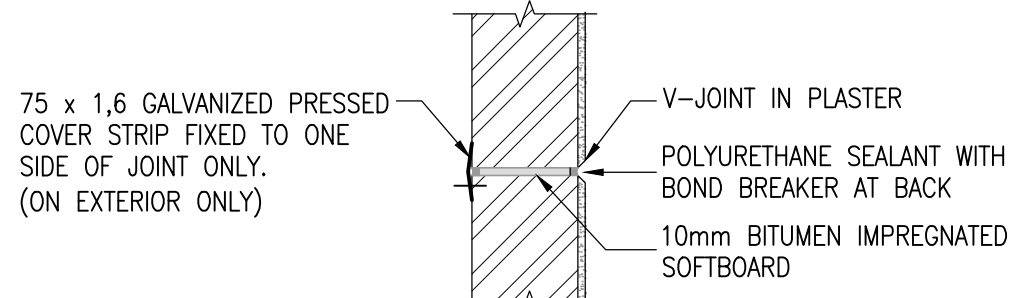
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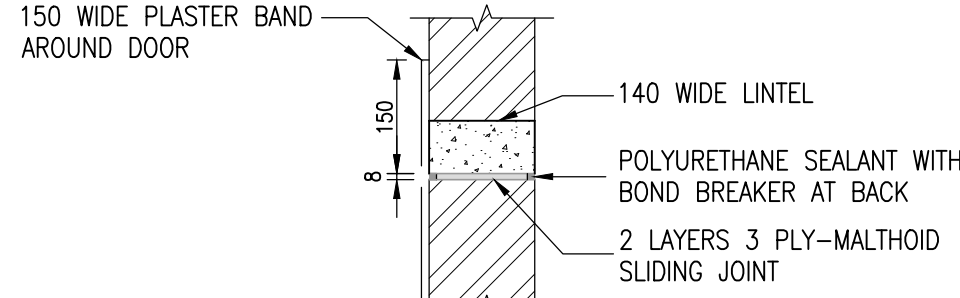
DETAIL 1
SCALE 1:25



V-JOINT DETAIL
SCALE 1:10



JOINT DETAIL
SCALE 1:10



SECTION A-A
SCALE 1:10

ALL BUILDING MATERIAL TO BE SABS APPROVED (STAMPED WHERE APPLICABLE) ALL WORKMANSHIP TO BE CARRIED OUT IN ACCORDANCE WITH NATIONAL HOME BUILDING REGULATIONS AND BUILDING STANDARDS ACT (ACT 103 OF 1977, AS AMENDED) AND THE NHBC HOME BUILDING MANUAL. IN CASE OF UNCERTAINTY NATIONAL BUILDING REGULATIONS AND THE NHBC HOME BUILDING MANUAL SHOULD TAKE PRECEDENCE. ALL FOUNDATION INSPECTIONS TO BE ACCOMPANIED BY THE ENGINEER AND WALL PLATE INSPECTION TO BE DONE ON UN-PLASTERED WALLS.

ROOF:
1. CONCRETE ROOF TILES FIXED TO LIGHTWEIGHT STEEL PURLINS ON LIGHTWEIGHT STEEL TRUSSES AT 17.5 PITCH WITH UNDERLAY TO BE REMOVED AND STORED FOR RE-INSTALLATION. ROOF TILES TO BE FIXED TO LIGHTWEIGHT STEEL PURLINS AT A PITCH OF 17.5
2. UNDERLAY TO BE REMOVED AND DISCARDED. NEW 1500PM UNDERLAY TO BE FIXED TO LIGHTWEIGHT PURLINS
3. ROOF TRUSSES TO BE SECURED TO BRICKWORK BY MEANS OF A DOUBLE STRAND OF 3.5MM GALVANISED WIRE AT EACH TRUSS. THEY ARE TO EXTEND 5 COURSES INTO THE BRICKWORK AND TAKEN UP ON EITHER SIDE OF THE TRUSS.

DOORS, DOOR AND WINDOW FRAMES:
1. INTERNAL DOORS: ALL INTERIOR DOORS ARE TO BE HOLLOW CORE HARDBOARD WITH 2 LEVER LOCKSET WITH CHROME HANDLE.
2. EXTERNAL DOORS: EXTERNAL DOORS ARE TO BE MERANTI FL&B FLUSH DOOR WITH 3 LEVER LOCKSET AND CHROME HANDLE.
3. DOOR FRAMES: DOOR FRAMES (2031X813X140) ARE TO BE STANDARD 1.2MM PRESSED STEEL DOUBLE REBATED AND PRIMED WITH RED OXIDE PAINT PRIMER.
4. WINDOW FRAMES: WINDOW FRAMES NC4F, NC1, NC2 & NC4 CISCO FRAMES TO BE REMOVED AND STORED FOR RE-INSTALLATION

CEILING:
1. 6.4MM THICK GYPSUM BOARD FIXED TO LIGHTWEIGHT STEEL BRANDING AND IN ONE DIRECTION WITH H-SECTION METAL CORNER STRIPS, PAINTED WHITE CORNICE: REFER TO CORNICE DETAIL.

INSULATION:
1. 135MM AEROLITE INSULATION AS PER SANS 10400 XA TO BE INSTALLED ABOVE CEILINGS

EXCAVATION, FOUNDATION AND FLOORS:
1. NO PRE-TREATMENT FOR ANT POISON IS REQUIRED
2. EARTHWORKS AND CONCRETE RAFT TO ENGINEERS DRAWINGS AND SPECIFICATIONS

BRICKWORK & PLASTER
1. EXTERNAL BRICKWORK IN CEMENT 140MM MAXI-BRICKS IN SINGLE SKIN
2. INTERNAL BRICKWORK IN CEMENT 140MM MAXI-BRICKS IN SINGLE SKIN
3. BRICK FORCE EVERY 4 COURSES AND EVERY LAYER FOR 4 COURSES ABOVE WINDOWS, DOORS AND OPENINGS
4. ALL EXTERNAL WALLS ARE BAG WASHED AND A 150MM WIDE PLASTER BAND AROUND ALL WINDOWS AND DOORS
5. INTERNAL WALLS ARE PLASTERED

FINISHES
1. EXTERNAL WALLS TO BE PAINTED WITH: 2 COATS AFRI-COAT ON OLD WALLS AND 1 COAT AFRI-COAT ON NEW WALLS, OR SIMILAR APPROVED PRODUCT
2. INTERNAL WALLS TO BE PAINTED WITH UNDERCOATED AND 2 LAYERS OF PLASCON OR SIMILAR APPROVED PAINT
3. ALL METAL WINDOW AND DOOR FRAMES TO BE PAINTED WITH 2 COATS OF ENAMEL PAINT
4. MERANTI BACK AND FRONT DOOR TO BE STAINED AND PAINTED WITH 2 COATS OF POLYURETHANE VARNISH

PLUMBING:
1. ALL PLUMBING TO CONFORM TO THE SPECIFICATIONS FROM THE WET SERVICES ENGINEER

GLAZING:
1. ALL GLAZING SHALL BE 3MM CLEAR GLASS EXCEPT FOR THE TOILET AREAS WHICH SHALL BE OBSCURED
2. FIXED WITH PUTTY

LANDSCAPING
1. NATURAL GROUND TO BE SHAPED TO DRAIN WATER AWAY FROM HOUSE

- NOTES:
1. DRAWINGS MUST NOT BE SCALED. ALL MEASUREMENTS TO BE CONFIRMED ON SITE.
 2. DRAWINGS TO BE READ WITH THE GENERAL NOTES DRAWING AND ALL TYPICAL DETAIL DRAWINGS WHERE APPLICABLE.
 3. DRAWINGS TO BE READ WITH THE CIVIL DRAWINGS AND ALL DISCREPANCIES TO BE REPORTED TO THE RESPONSIBLE ENGINEER IMMEDIATELY.
 4. DRAWINGS TO BE READ WITH THE PROJECT SPECIFICATIONS AND APPLICABLE SANS 1200 CODES.
 5. 150mm WIDE PLASTER BAND AROUND ALL WINDOWS AND DOORS

AS-BUILT RECORD			
CONTRACT No.	DESCRIPTION	CERTIFIED BY	DATE

CERTIFIED AS-BUILT FOR CONTRACT : ECSA Reg. No:			
ENGINEER		DATE	

VERSION/AMENDMENTS			
No.	DATE	DESCRIPTION	AUTHORISED BY
1.0	2021/04/01	ISSUED FOR TENDER	F. DE KOCK

PROJECT TITLE:
**LERATO PARK
REPAIR OF 491 RDP HOUSES**

SEMI DETACHED HOUSE
RAFT FOUNDATION
PLAN, SECTION & ELEVATIONS

DATE: 2019/04/17	CO-ORDINATE SYSTEM:
ORIGINAL DRAWING SCALE: AS SHOWN	ORIGINAL DRAWING SHEET SIZE: A1
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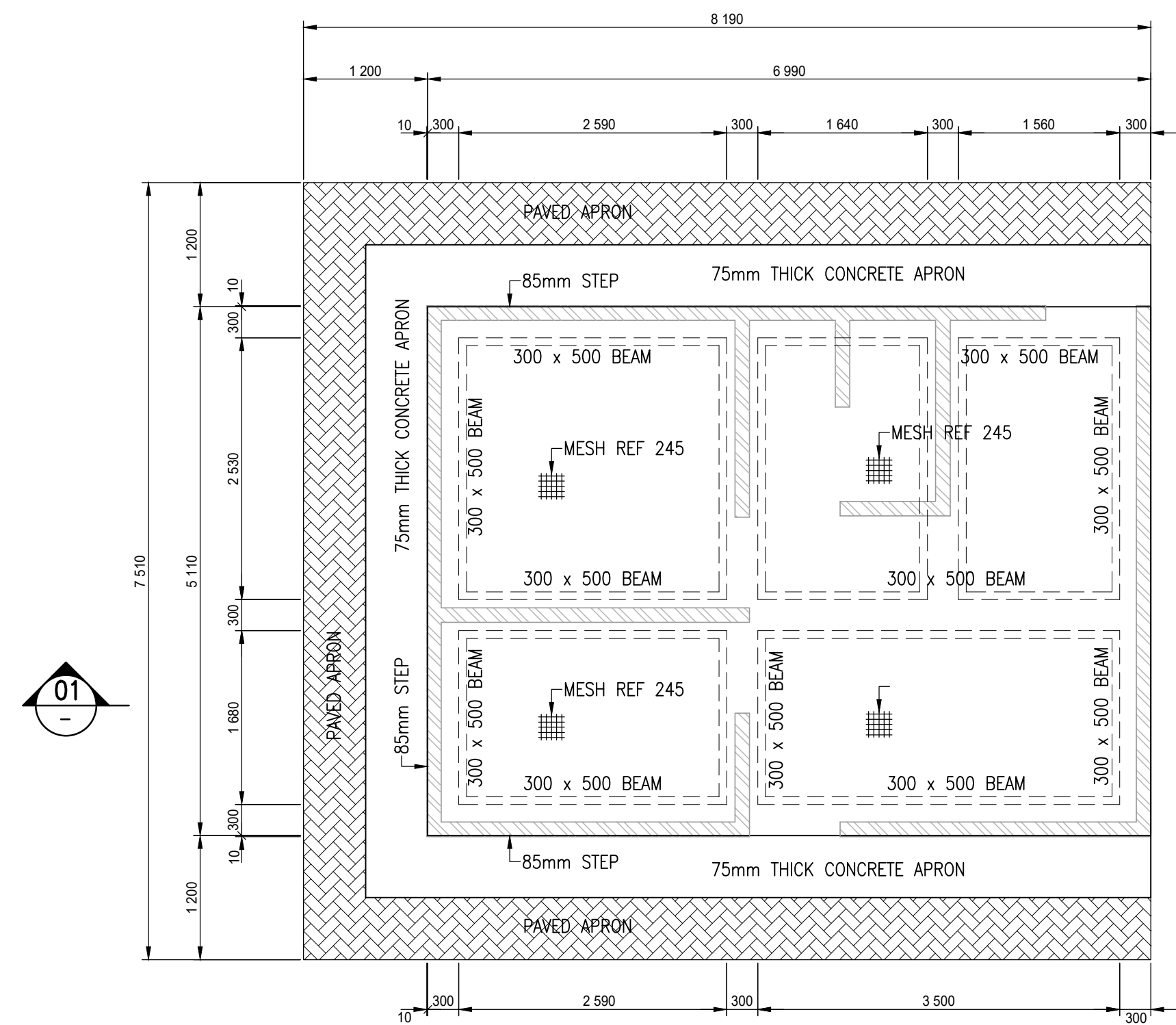


Doing good while doing business

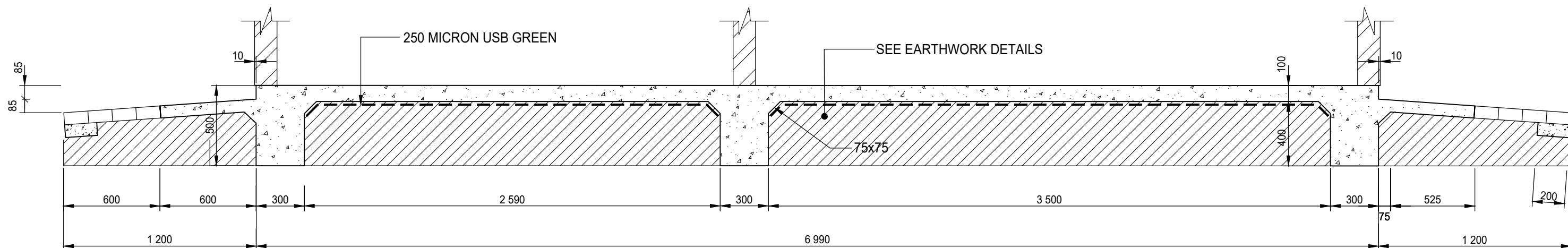
Allan Cormack Street
The Innovation Hub
Persequor Pretoria
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The Innovation Hub
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0087
Tel: + 27 (0) 12 842 8700
Fax: + 27 (0) 12 843 9000/9001
E-mail: pretoria@bigengroup.com
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SURVEYED		DESIGNED	F. de Kock
DRAWN	F du Toit	CHECKED	F. de Kock
APPROVED ON BEHALF OF BIGEN:		ECSA Reg. No:	
ENGINEER:		DATE:	
DRAWING No:		VERSION:	
2334.50.02.SUA.14.U003		1.0	
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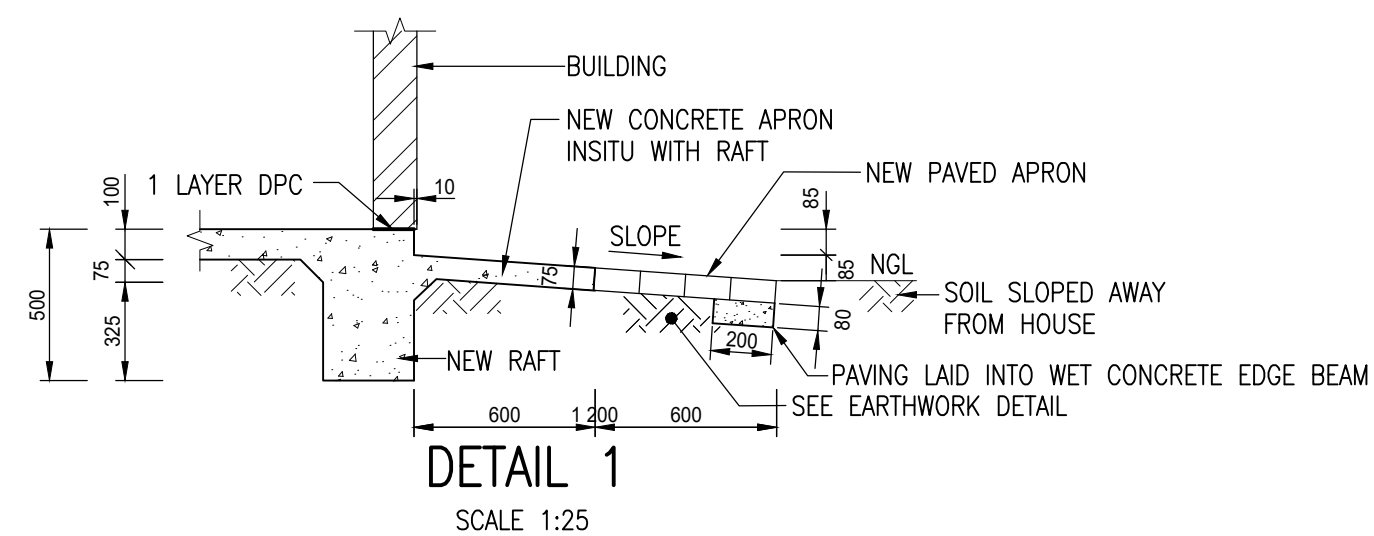
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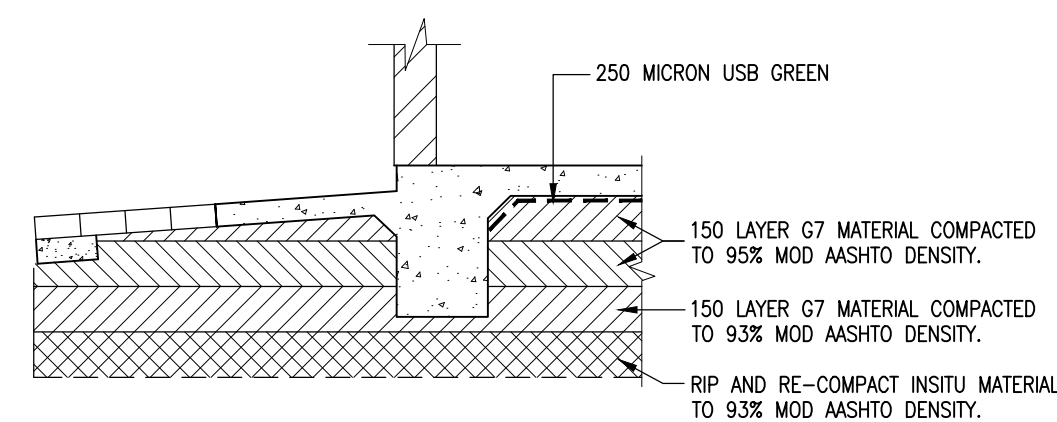
FLOOR PLAN ON RAFT FOUNDATION
SCALE 1:50



SECTION 01-01
SCALE 1:25



DETAIL 1
SCALE 1:25



EARTHWORK LAYER DETAIL
SCALE 1:25

NOTES:

1. CONCRETE FOR RAFT TO BE CLASS 25/19
2. CONCRETE COVER TO BEAM STIRRUPS TO BE 50mm
3. SLAB REINFORCEMENT TO BE PLACED IN CENTRE OF SLAB: ie 40mm COVER FOR TOP AND BOTTOM
4. POSITION OF HOUSE, QUALITY OF FILL MATERIAL, COMPACTIVE EFFORT, FLOOR LEVEL AND REINFORCEMENT OF RAFT ALL TO SIGNED OFF BY ENGINEER BEFORE ANY CONCRETE IS CAST.

AS-BUILT RECORD

CONTRACT No.	DESCRIPTION	CERTIFIED BY	DATE

CERTIFIED AS-BUILT FOR CONTRACT :
ECSA Reg. No:

ENGINEER	DATE

VERSION/AMENDMENTS

No.	DATE	DESCRIPTION	AUTHORISED BY
1.0	2021/03/17	ISSUED FOR TENDER	F. DE KOCK

PROJECT TITLE:

LERATO PARK REPAIR OF 491 RDP HOUSES

DRAWING TITLE:

SEMI DETACHED HOUSE RAFT FOUNDATION PLAN & SECTIONS

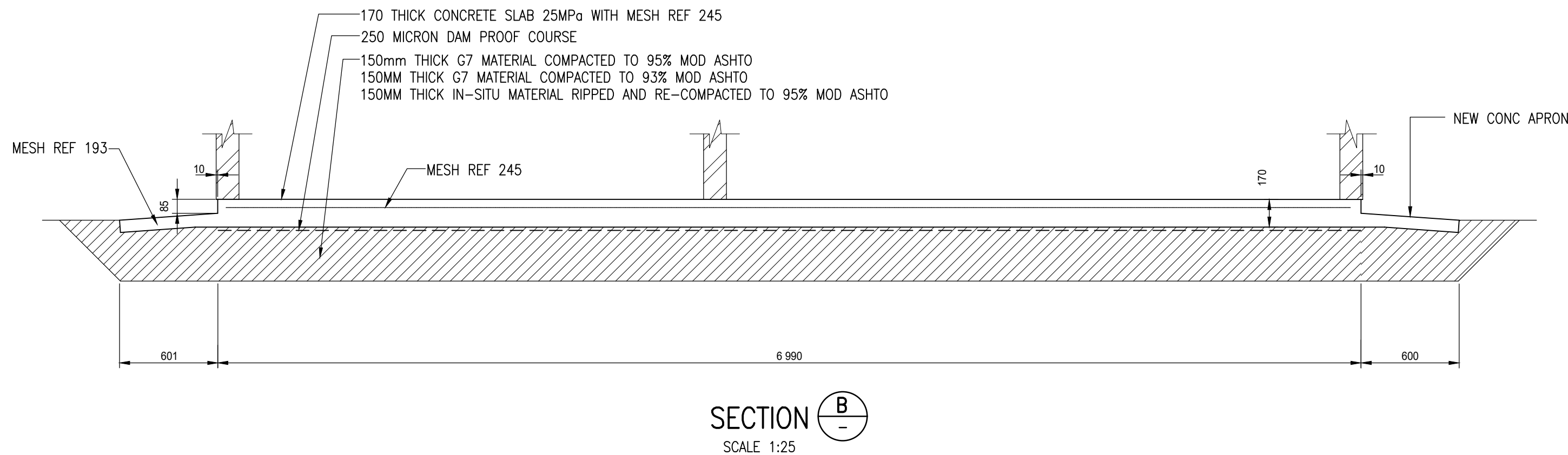
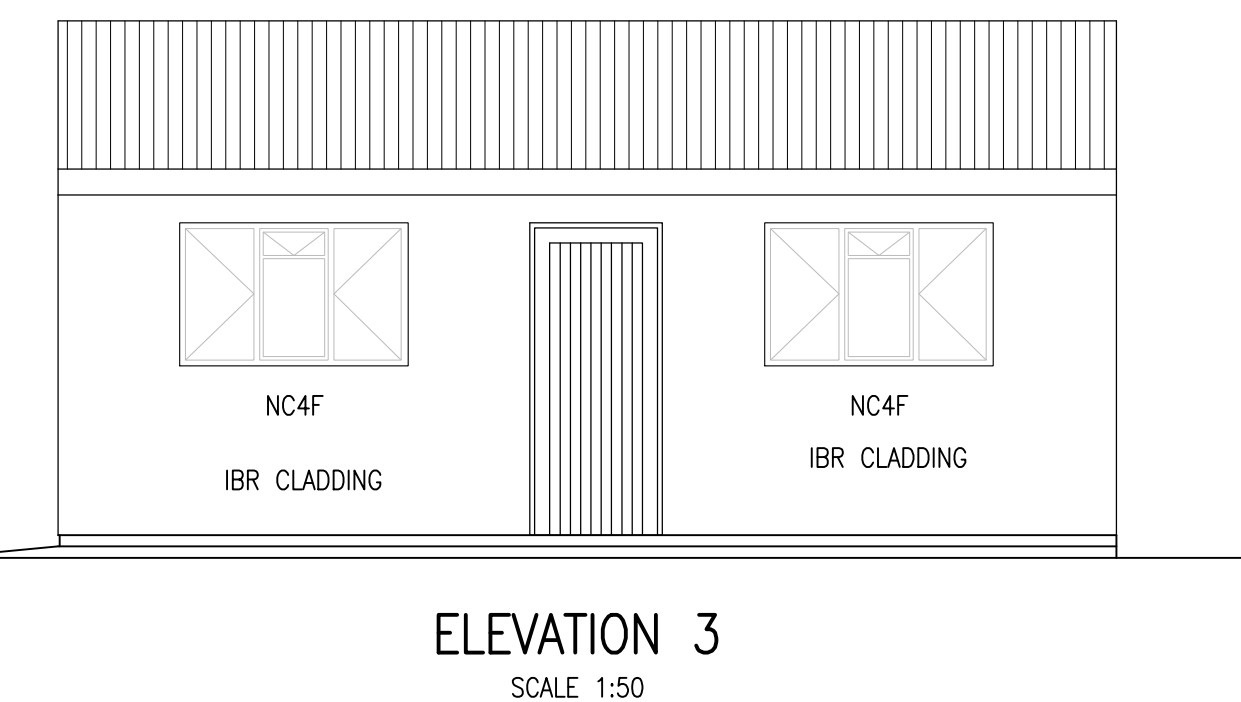
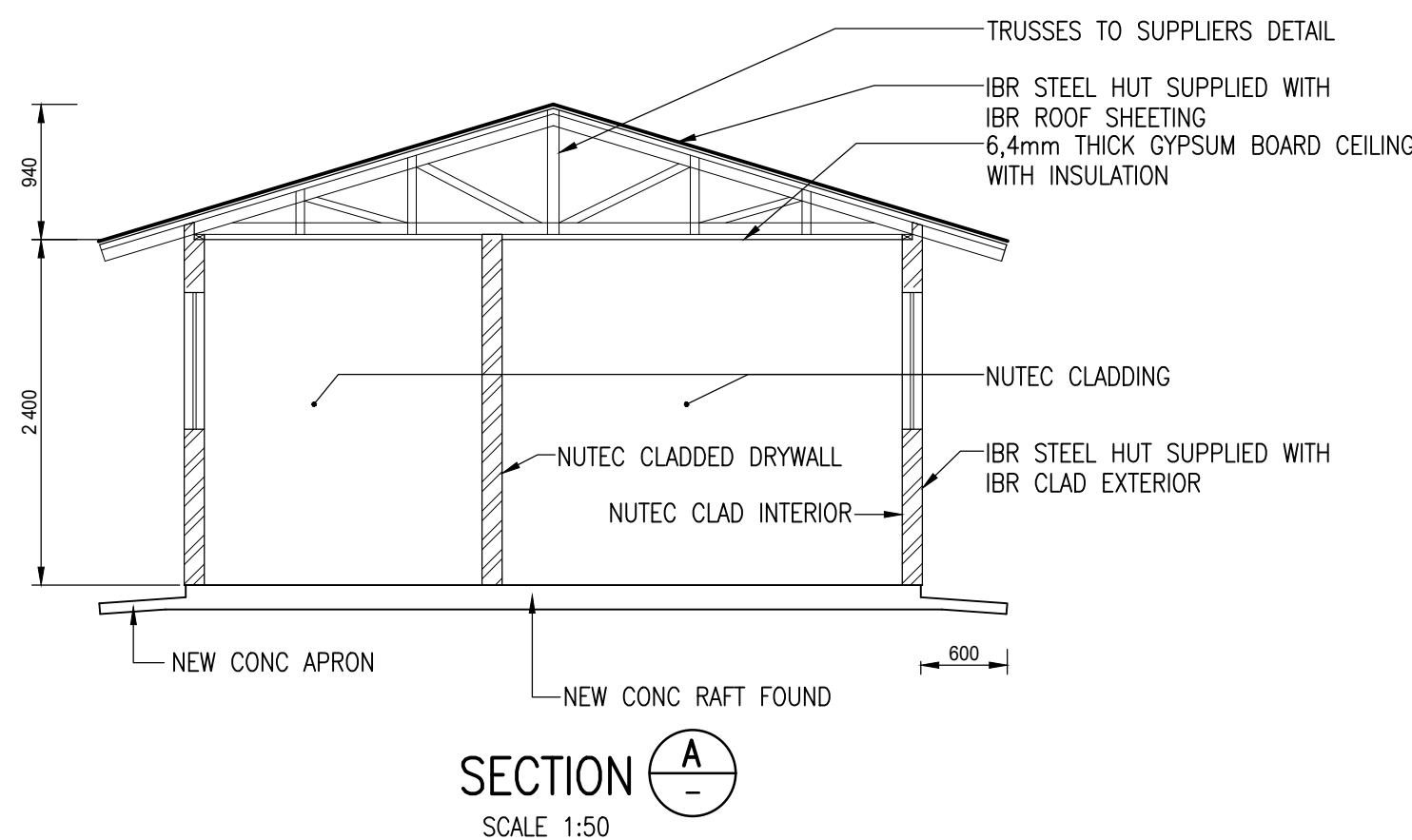
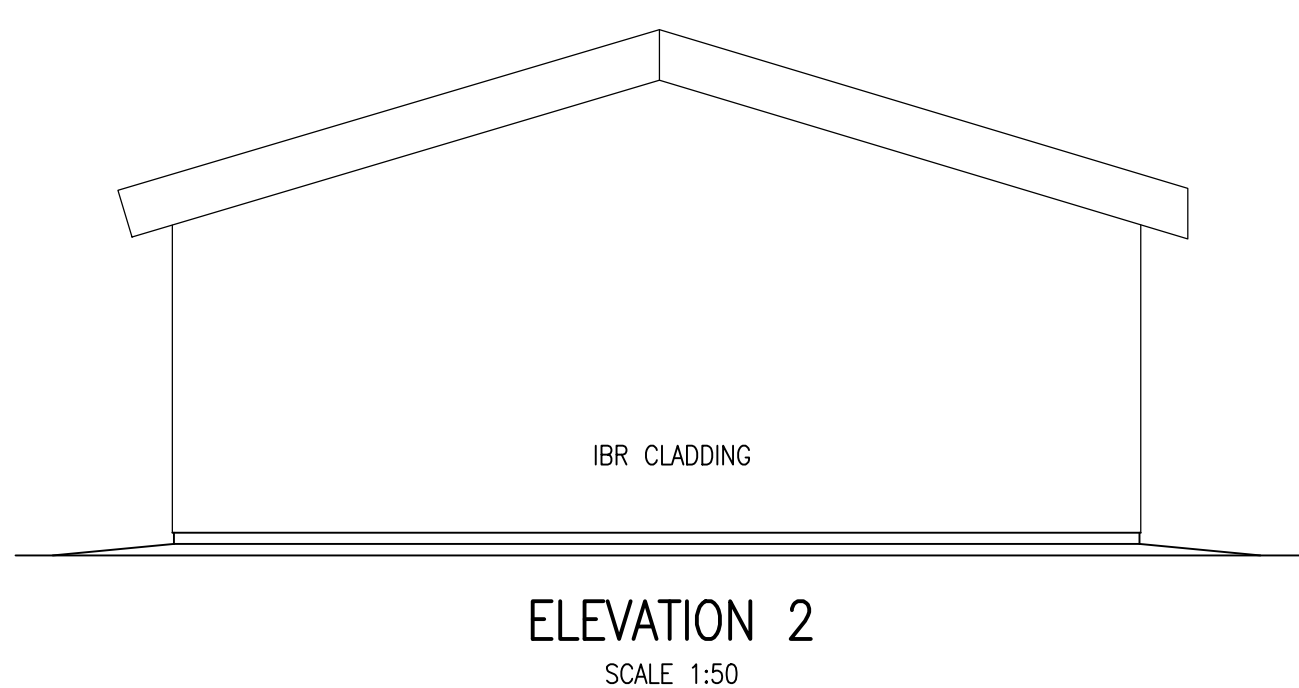
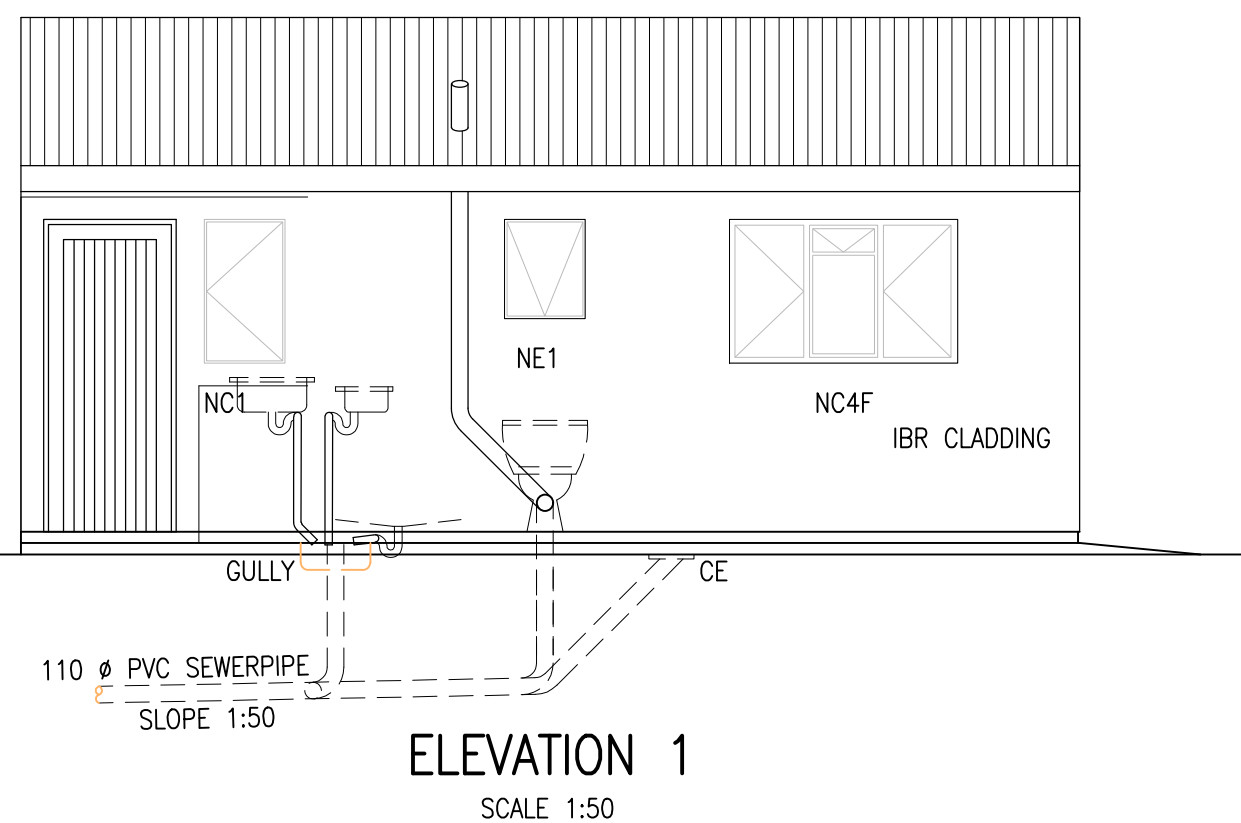
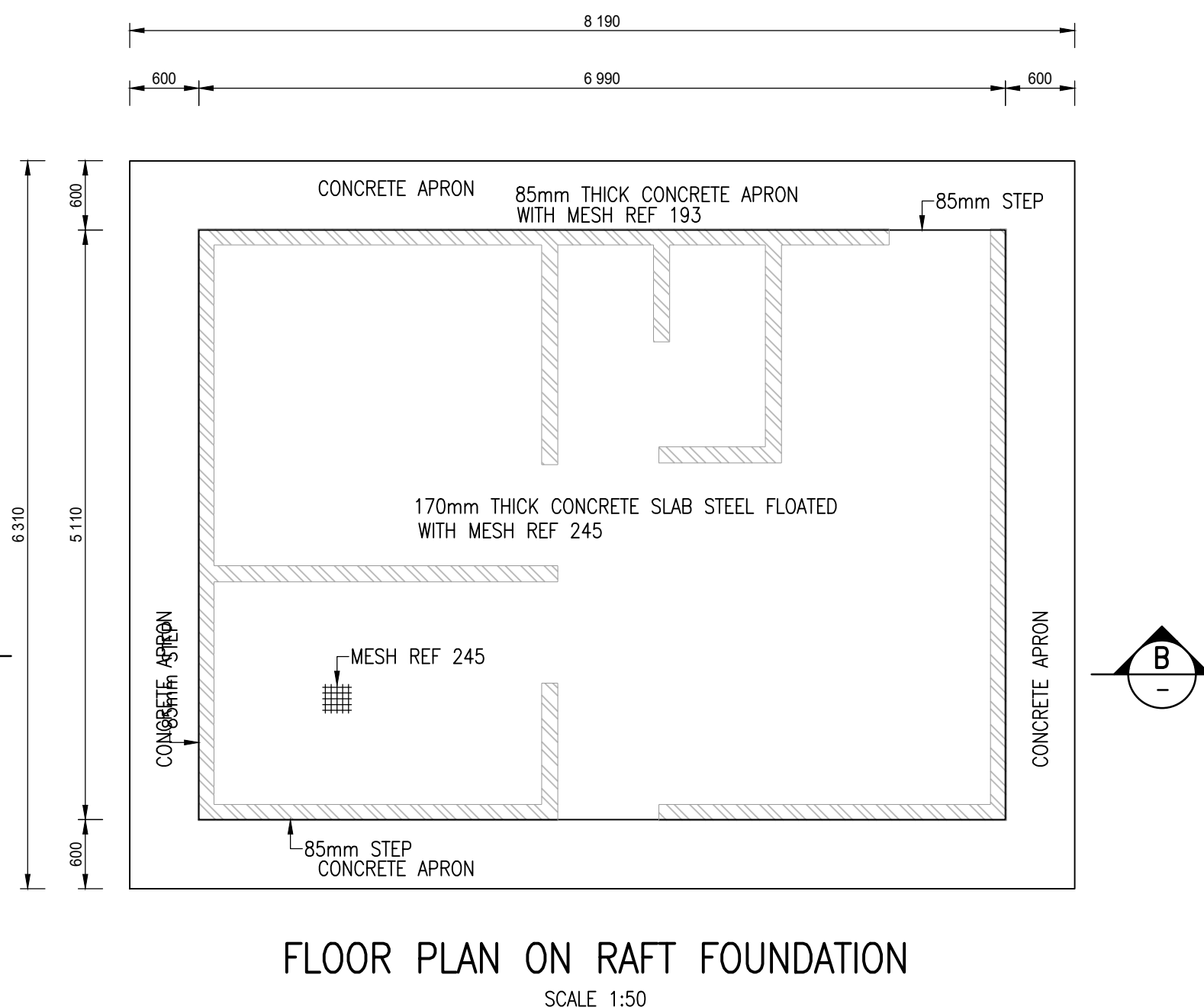
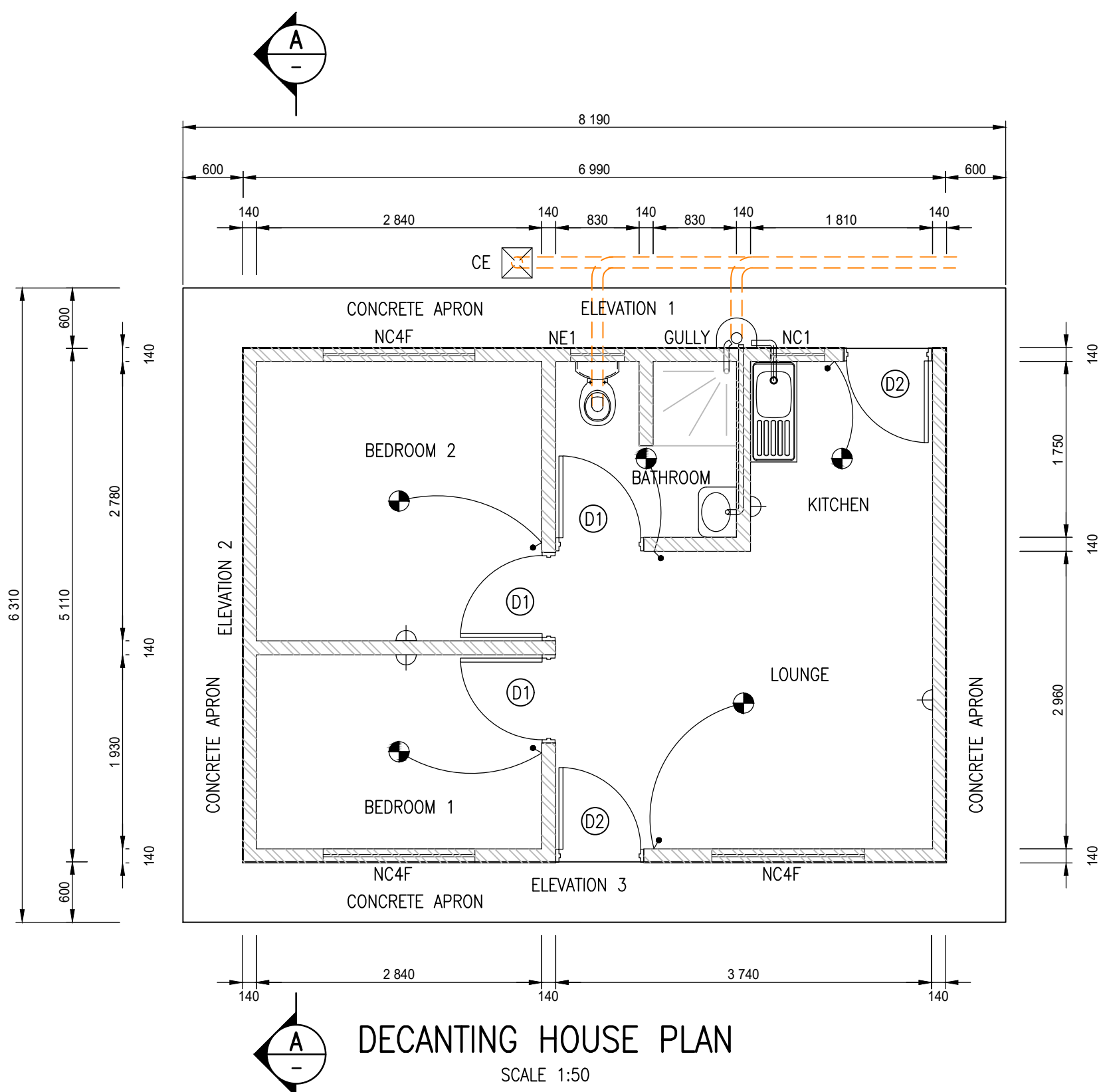
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SURVEYED		DESIGNED	F. de Kock
DRAWN	F. du Toit	CHECKED	F. de Kock
APPROVED ON BEHALF OF BIGEN:		ECSA Reg. No:	
ENGINEER:		DATE:	
DRAWING No:		VERSION:	
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APPROVED:		DATE:	
CLIENT OR ASSIGNEE:		DATE:	
CLIENT:		CLIENT:	
DRAWING No.:		REF No.:	

2334.50.02.SUA.14.U004



ALL BUILDING MATERIAL TO BE SABS APPROVED (STAMPED WHERE APPLICABLE) ALL WORKMANSHIP TO BE CARRIED OUT IN ACCORDANCE WITH NATIONAL HOME BUILDING REGULATIONS AND BUILDING STANDARDS ACT (ACT 103 OF 1977, AS AMENDED) AND THE NHBRC HOME BUILDING MANUAL. IN CASE OF UNCERTAINTY NATIONAL BUILDING REGULATIONS AND THE NHBRC HOME BUILDING MANUAL SHOULD TAKE PRECEDENCE. ALL FOUNDATION INSPECTIONS TO BE ACCOMPANIED BY THE ENGINEER AND WALL PLATE INSPECTION TO BE DONE ON UN-PLASTERED WALLS.

ROOF:
1. STEEL ROOF SHEETING AT A PITCH OF 17.5
2. ROOF TRUSSES TO BE SECURED TO STEEL STRUCTURE TO SATISFY ANY WIND UPLIFT FORCES.

DOORS, DOOR AND WINDOW FRAMES:
1. INTERNAL DOORS: ALL INTERIOR DOORS ARE TO BE HOLLOW CORE HARDBOARD WITH 2 LEVER LOCKSET WITH CHROME HANDLE.
2. EXTERNAL DOORS: EXTERNAL DOORS ARE TO BE MERANTI FL&B FLUSH DOOR WITH 3 LEVER LOCKSET AND CHROME HANDLE.
3. DOOR FRAMES: DOOR FRAMES (2031X813X140) ARE TO BE STANDARD 1.0MM PRESSED STEEL DOUBLE REBATED AND PRIMED WITH RED OXIDE PAINT PRIMER.
4. WINDOW FRAMES: WINDOW FRAMES NC4F, NC1, NC2 & NC4 CISCO FRAMES TO BE REMOVED AND STORED FOR RE-INSTALLATION

CEILINGS:
1. 6.4MM THICK GYPSUM BOARD FIXED TO BRANDERING AND IN ONE DIRECTION WITH H-SECTION METAL CORNER STRIPS, PAINTED WHITE

INSULATION:
1. 100MM AEROLITE INSULATION AS PER SANS 10400 XA TO BE INSTALLED ABOVE CEILINGS

EXCAVATION, FOUNDATION AND FLOORS:
1. NO PRE-TREATMENT FOR ANT POISON IS REQUIRED
2. EARTHWORKS AND CONCRETE RAFT TO ENGINEERS DRAWINGS AND SPECIFICATIONS

FINISHES:
1. EXTERNAL GALVANISED IBR SHEETING
2. INTERNAL WALLS TO BE NUTEC BOARD DRY WALLS
3. INTERNAL WALLS AT SHOWER TO BE TREATED WITH WATER AND DAMP PROOF PAINT AND MEMBRANE
4. SHOWER TO BE LIFTED FROM CONCRETE RAFT WITH NO DOOR
5. ALL METAL WINDOW AND DOOR FRAMES TO BE PAINTED WITH 2 COATS OF ENAMEL PAINT
6. MERANTI BACK AND FRONT DOOR TO BE STAINED AND PAINTED WITH 2 COATS OF POLYURETHANE VARNISH

PLUMBING:
1. ALL PLUMBING TO CONFORM TO THE REQUIRED SABS CODES AND STANDARDS AS WELL AS THE DEPARTMENT OF HOUSING STANDARDS AND BY-LAWS
2. ALL PLUMBING TO BE CARRIED OUT BY REGISTERED PLUMBER
3. SUPPLY AND INSTALL STAINLESS STEEL 800X460 SINK WITH A PAIR OF FALCON BRACKETS
4. SUPPLY AND INSTALL 15MM CHROME PLATED TAP WITH 32MM PVC TRAP INCLUDING WASTE PLUG AND CHAIN TO SINK UNIT
5. SUPPLY AND INSTALL SHOWER COMPLETE WITH ALL TAPS, DRAIN, SHOWER ARM AND HEAD
6. WASTE WATER TO BE DRAINED INTO THE SEWER SYSTEM WITH 32MM PVC TUBING INCLUDING ALL THE NECESSARY BENDS JUNCTIONS AND DRAINING EYES
7. THE SEWER CONNECTION FROM THE HOUSE TO THE MUNICIPAL SEWER TO BE IN ACCORDANCE WITH SABS STANDARDS, INCLUDING CORRECT FALL, REQUIRED BENDS, JUNCTIONS, INSPECTION EYES AND RODDING EYES TO THE SATISFACTION OF THE MUNICIPAL INSPECTOR
8. PROVIDE 50MM VENT PIPE TO SEWER SYSTEM
9. NO HOT WATER SUPPLY

GLAZING:
1. ALL GLAZING SHALL BE 3MM CLEAR GLASS EXCEPT FOR THE TOILET AREAS WHICH SHALL BE OBSCURED
2. FIXED WITH PUTTY

LANDSCAPING
1. NATURAL GROUND TO BE SHAPED TO DRAIN WATER AWAY FROM HOUSE

NOTES:

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- DRAWINGS TO BE READ WITH THE GENERAL NOTES DRAWING AND ALL TYPICAL DETAIL DRAWINGS WHERE APPLICABLE.
- DRAWINGS TO BE READ WITH THE CIVIL DRAWINGS AND ALL DISCREPANCIES TO BE REPORTED TO THE RESPONSIBLE ENGINEER IMMEDIATELY.
- DRAWINGS TO BE READ WITH THE PROJECT SPECIFICATIONS AND APPLICABLE SANS 1200 CODES.
- 150mm WIDE PLASTER BAND AROUND ALL WINDOWS AND DOORS

AS-BUILT RECORD

CONTRACT No.	DESCRIPTION	CERTIFIED BY	DATE

CERTIFIED AS-BUILT FOR CONTRACT :
ECSA Reg. No: _____

ENGINEER _____ DATE _____

VERSION/AMENDMENTS

No.	DATE	DESCRIPTION	AUTHORISED BY
1.0	2021/03/17	ISSUED FOR TENDER	F. DE KOCK

PROJECT TITLE:

LERATO PARK
REPAIR OF 491 RDP HOUSES

DRAWING TITLE:

DECANTING
HOUSE PLAN, SECTION &
ELEVATIONS

DATE: 2019/04/17	CO-ORDINATE SYSTEM:
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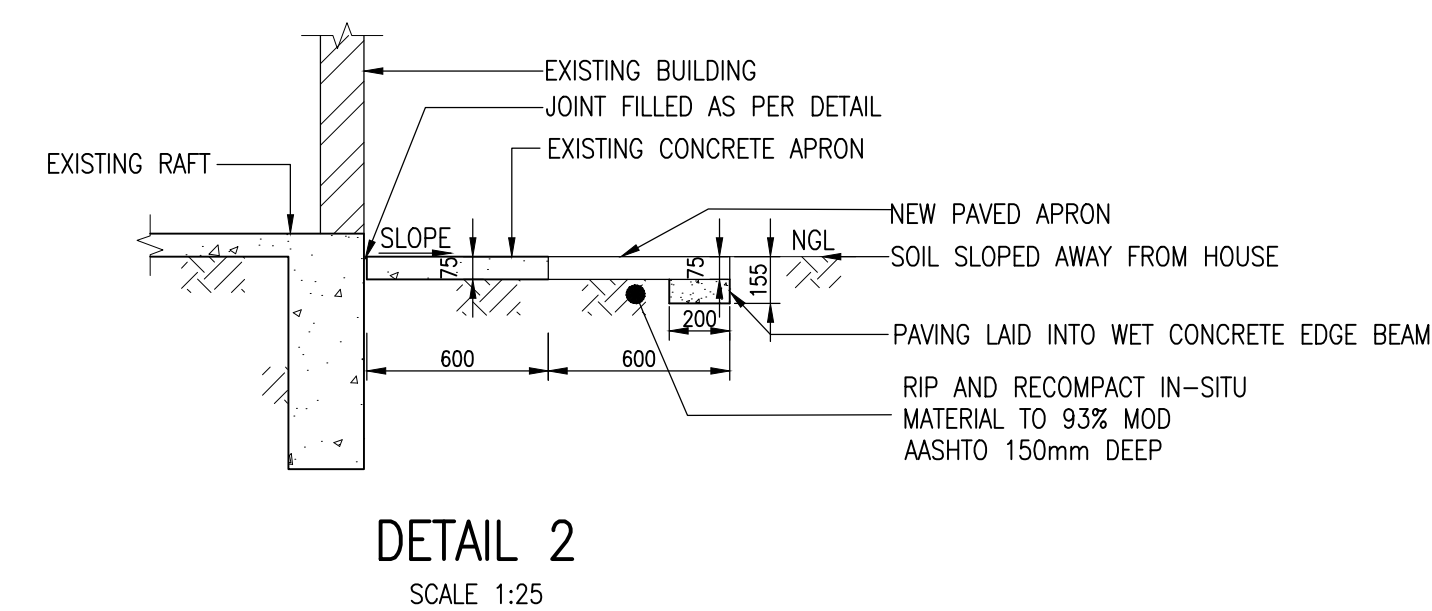
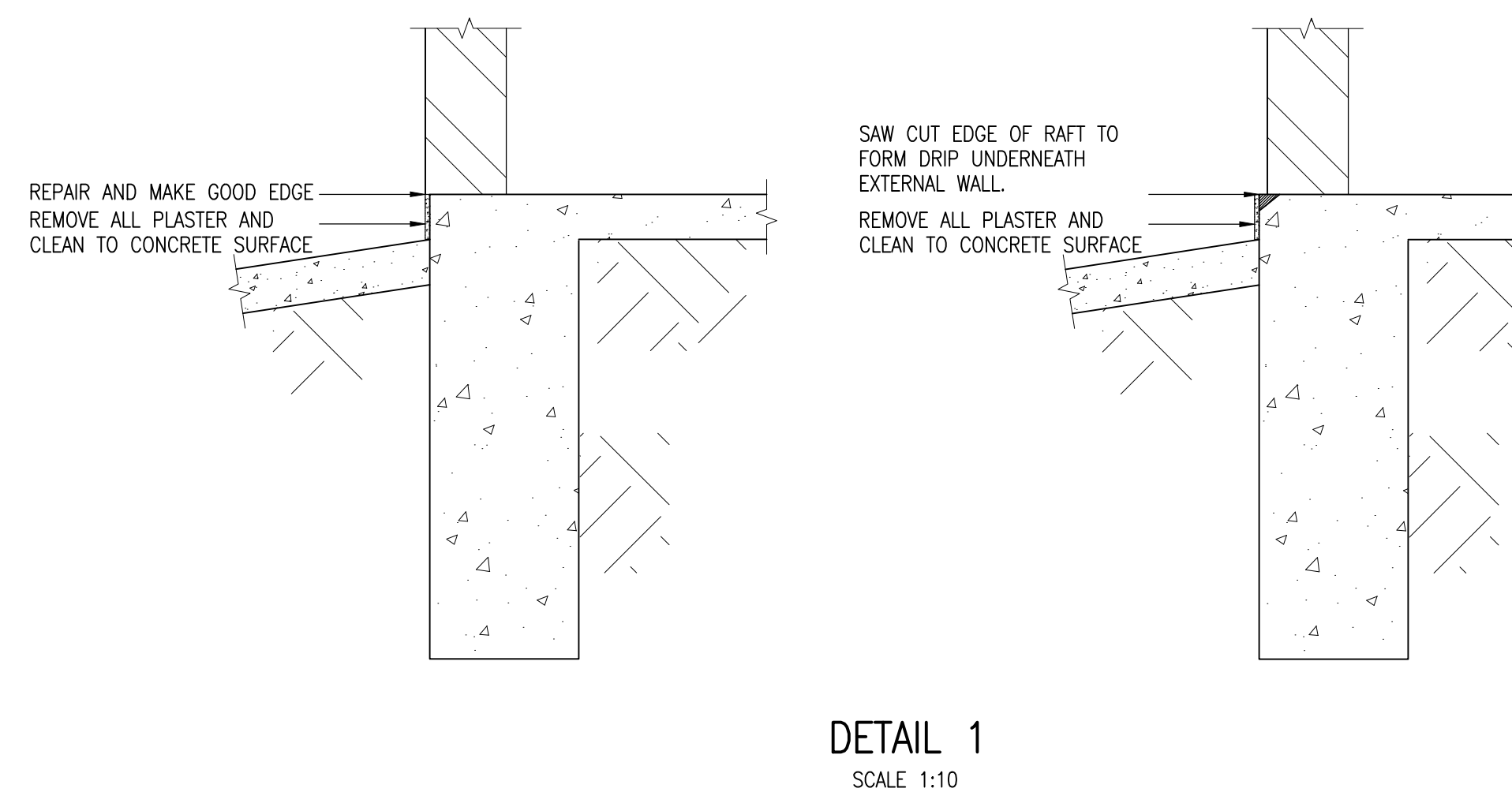
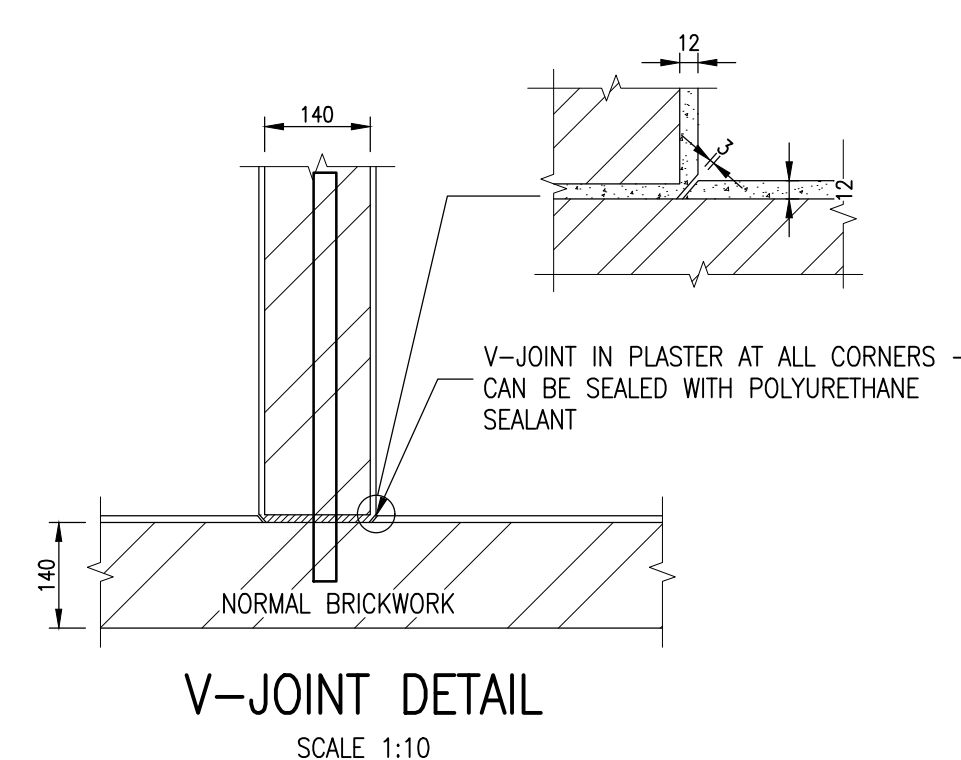
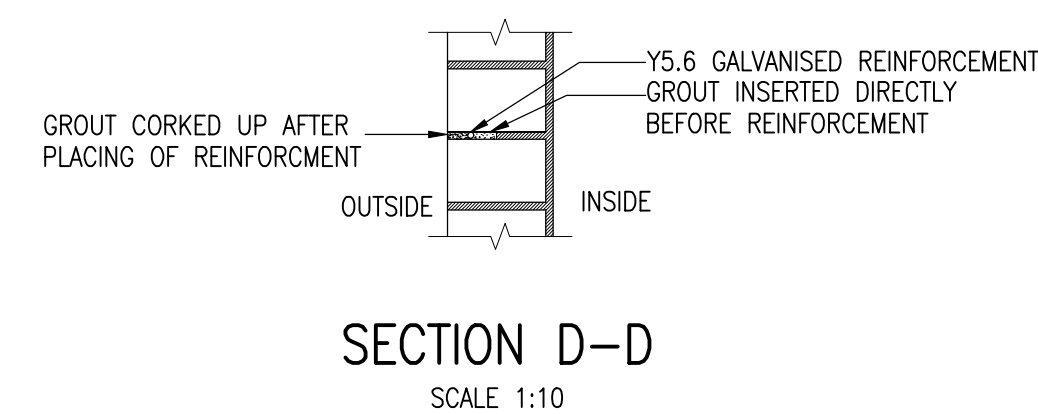
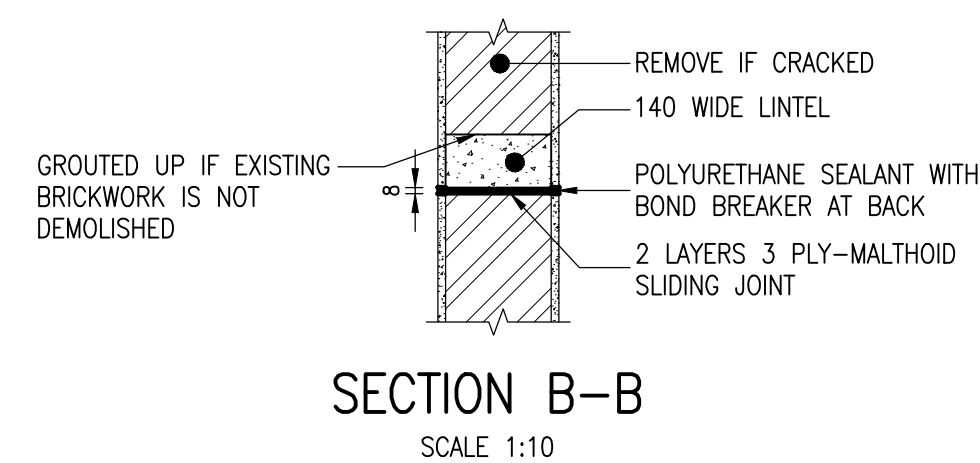
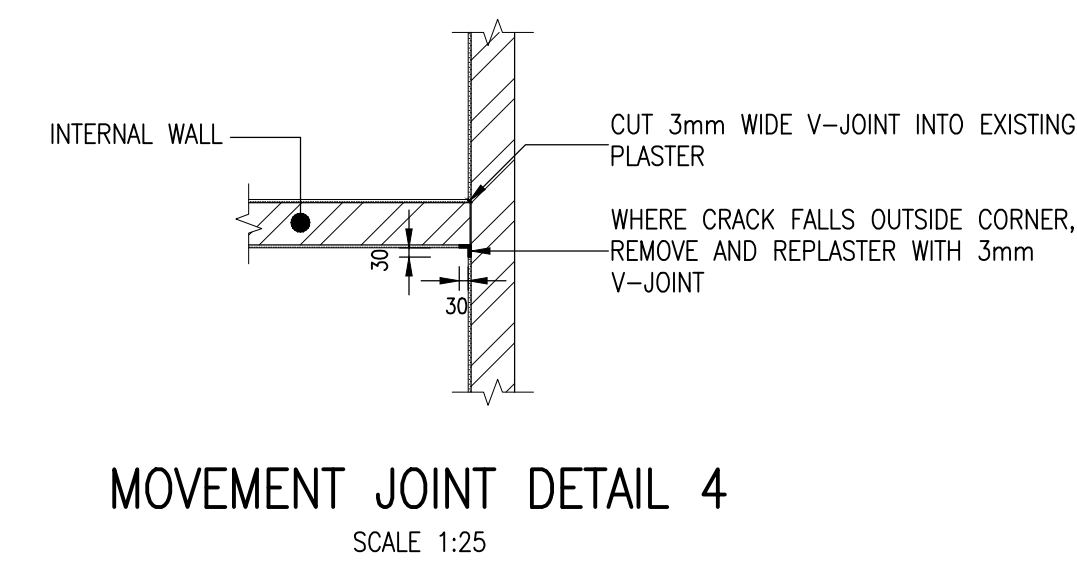
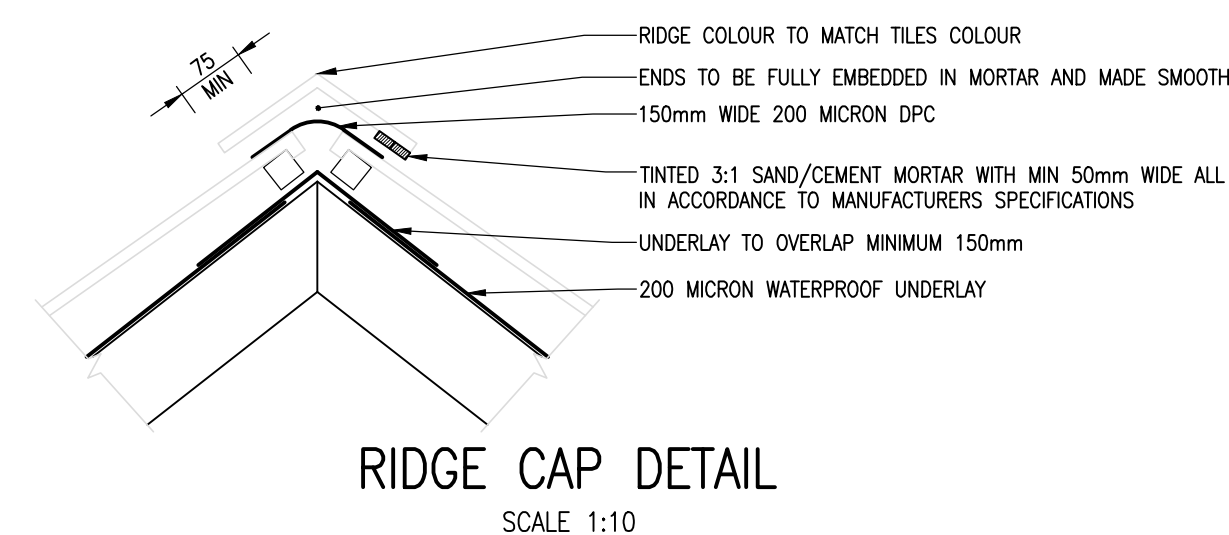
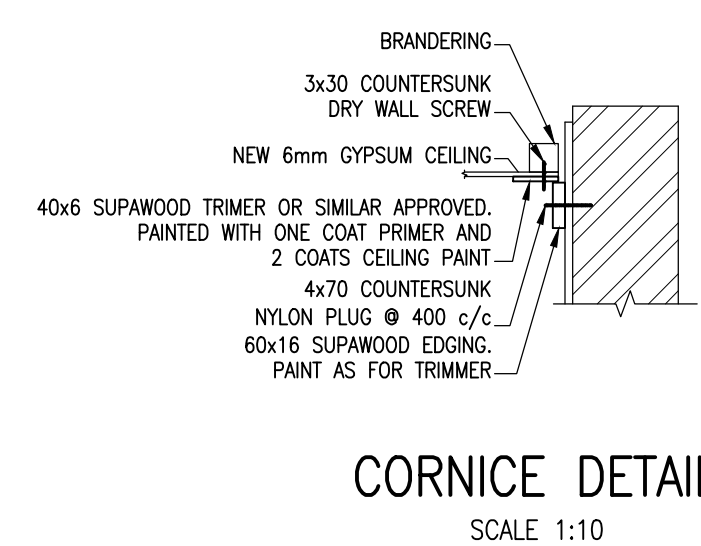
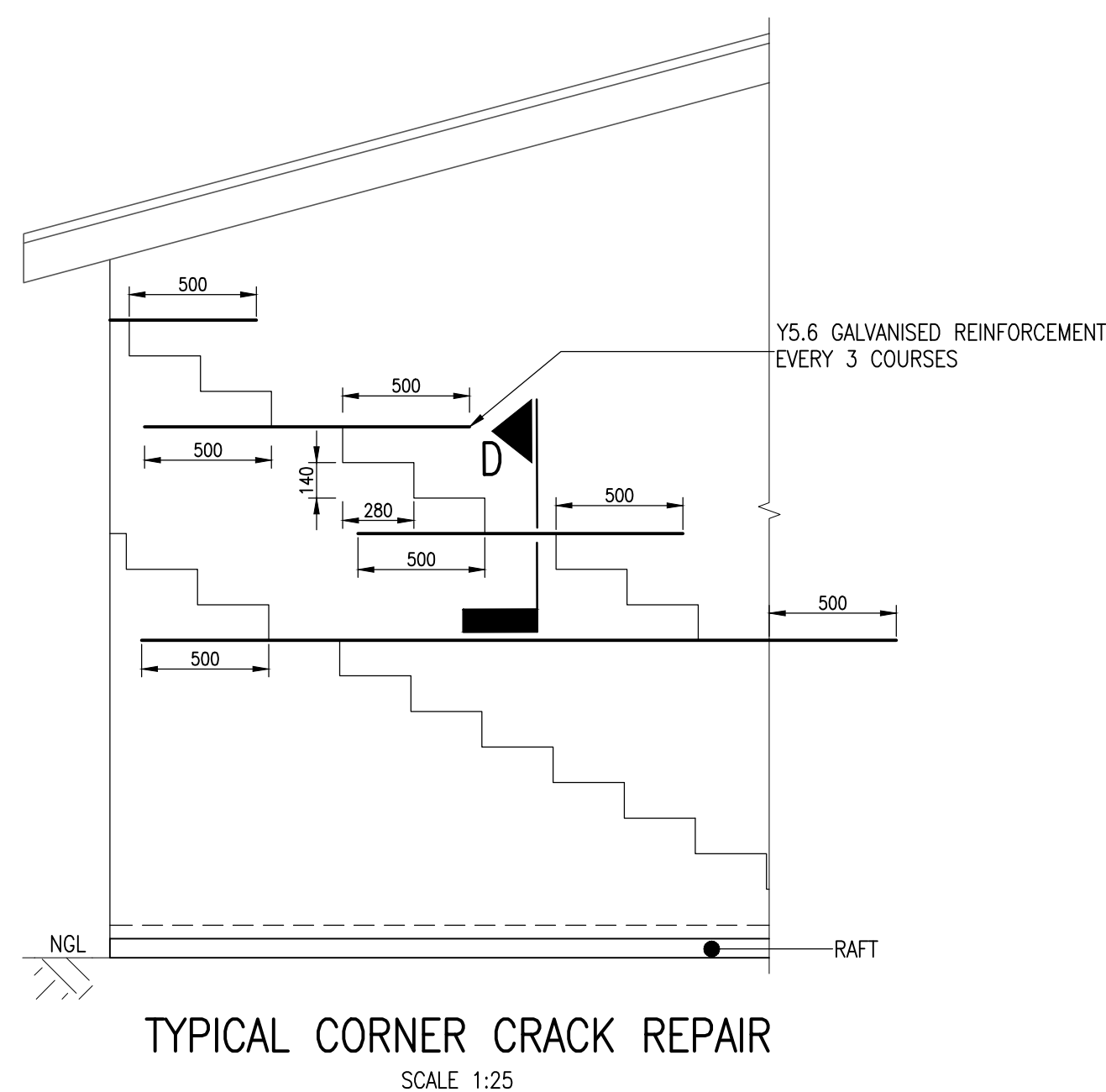
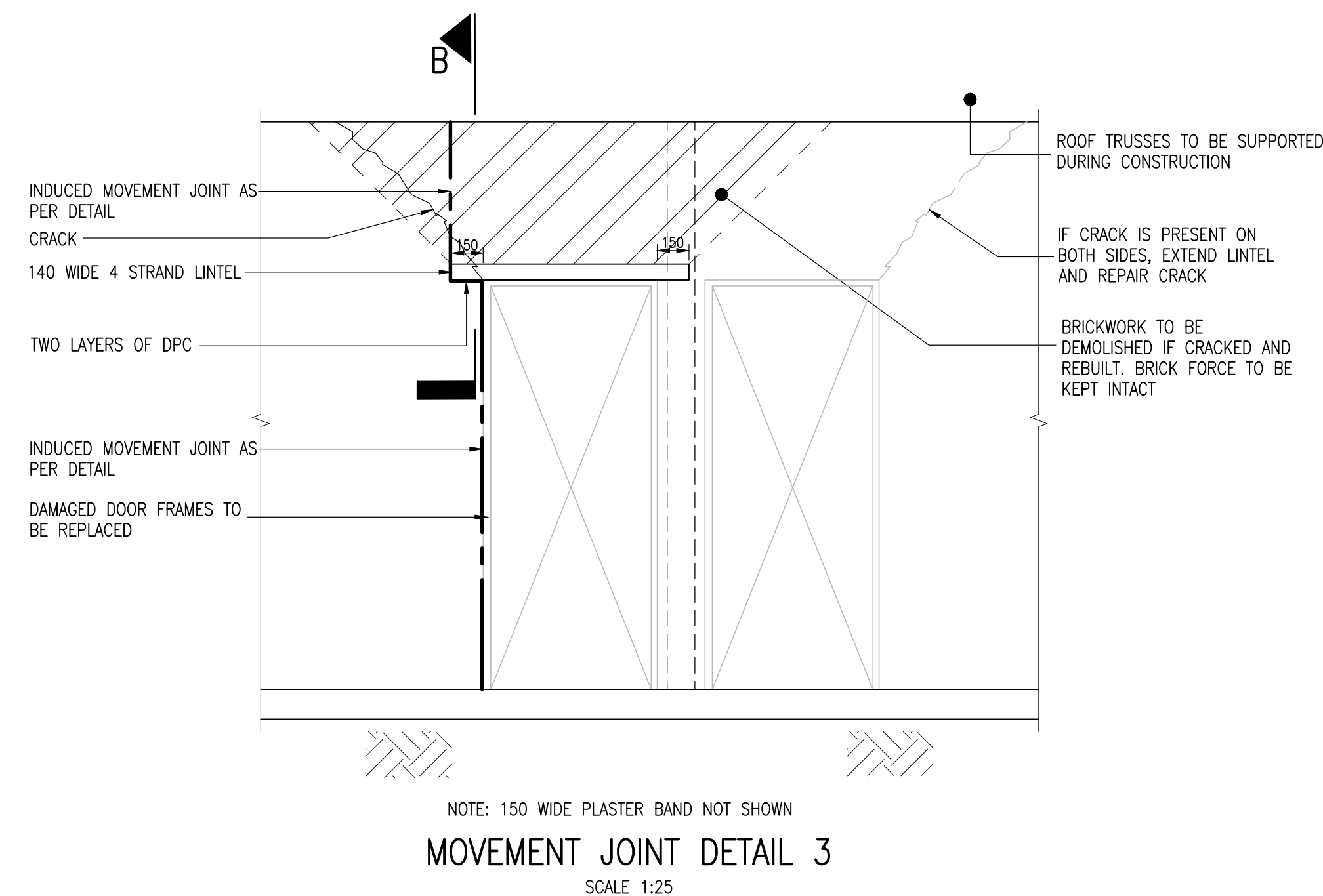
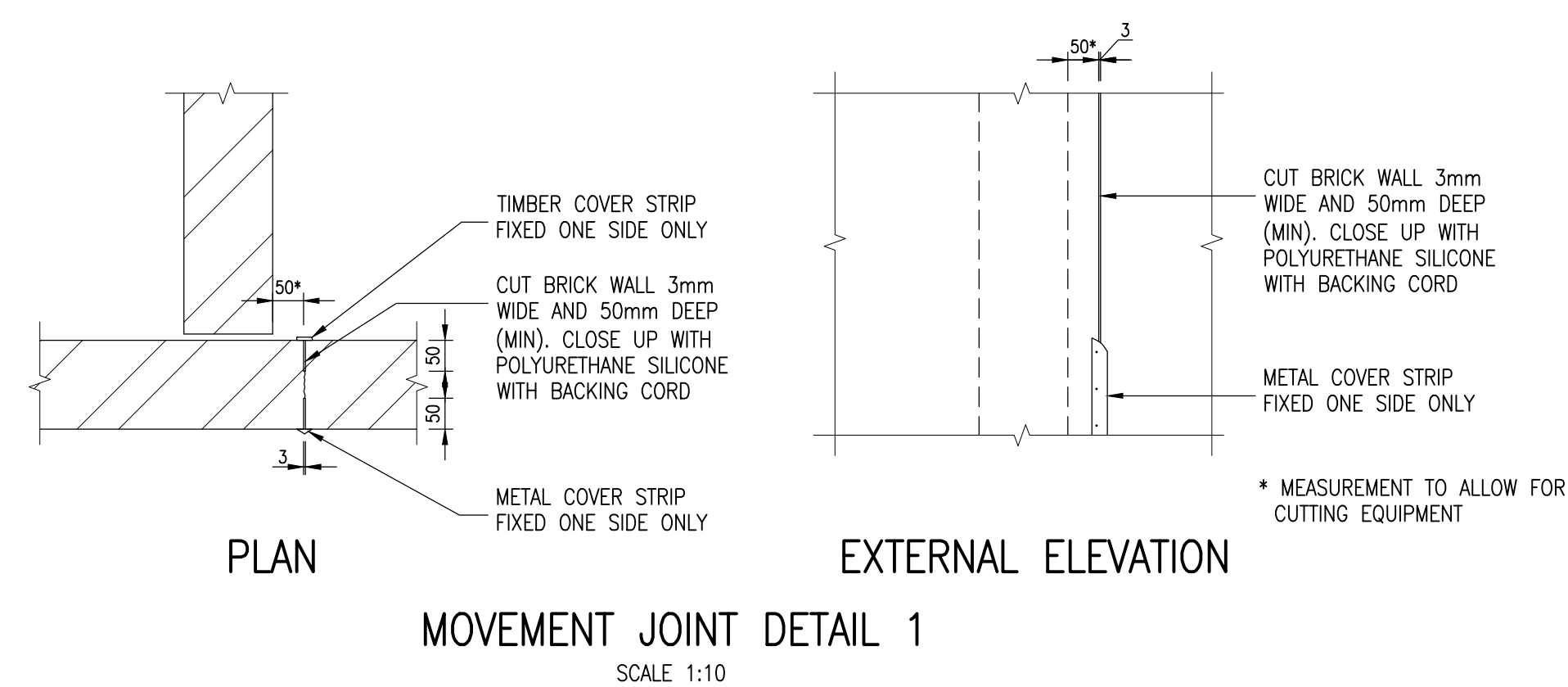


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SURVEYED	DESIGNED	F. de Kock
DRAWN	CHECKED	F. de Kock
APPROVED ON BEHALF OF BIGEN:		ECSA Reg. No:
ENGINEER:		DATE:
DRAWING No:	VERSION:	
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APPROVED:		DATE:
CLIENT OR ASSIGNEE:		DATE:
CLIENT:	CLIENT:	
DRAWING No.:	REF No.:	

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- NOTES:**
1. DRAWINGS MUST NOT BE SCALED. ALL MEASUREMENTS TO BE CONFIRMED ON SITE.
 2. DRAWINGS TO BE READ WITH THE GENERAL NOTES, DRAWINGS AND ALL TYPICAL DETAIL DRAWINGS WHERE APPLICABLE.
 3. DRAWINGS TO BE READ WITH THE CIVIL DRAWINGS AND ALL DISCREPANCIES TO BE REPORTED TO THE RESPONSIBLE ENGINEER IMMEDIATELY.
 4. DRAWINGS TO BE READ WITH THE PROJECT SPECIFICATIONS AND APPLICABLE SANS 1200 CODES.

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CERTIFIED AS-BUILT FOR CONTRACT :
ECSA Reg. No:

ENGINEER

DATE

[illegible]

PROJECT TITLE:

LERATO PARK
REPAIR OF 491 RDP HOUSES

DRAWING TITLE:

FREESTANDING HOUSE 40M
SECTIONS & DETAILS

DATE: 2019/04/03	CO-ORDINATE SYSTEM:
ORIGINAL DRAWING SCALE: AS SHOWN	ORIGINAL DRAWING SHEET SIZE: A1

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100mm ON ORIGINAL DRAWING



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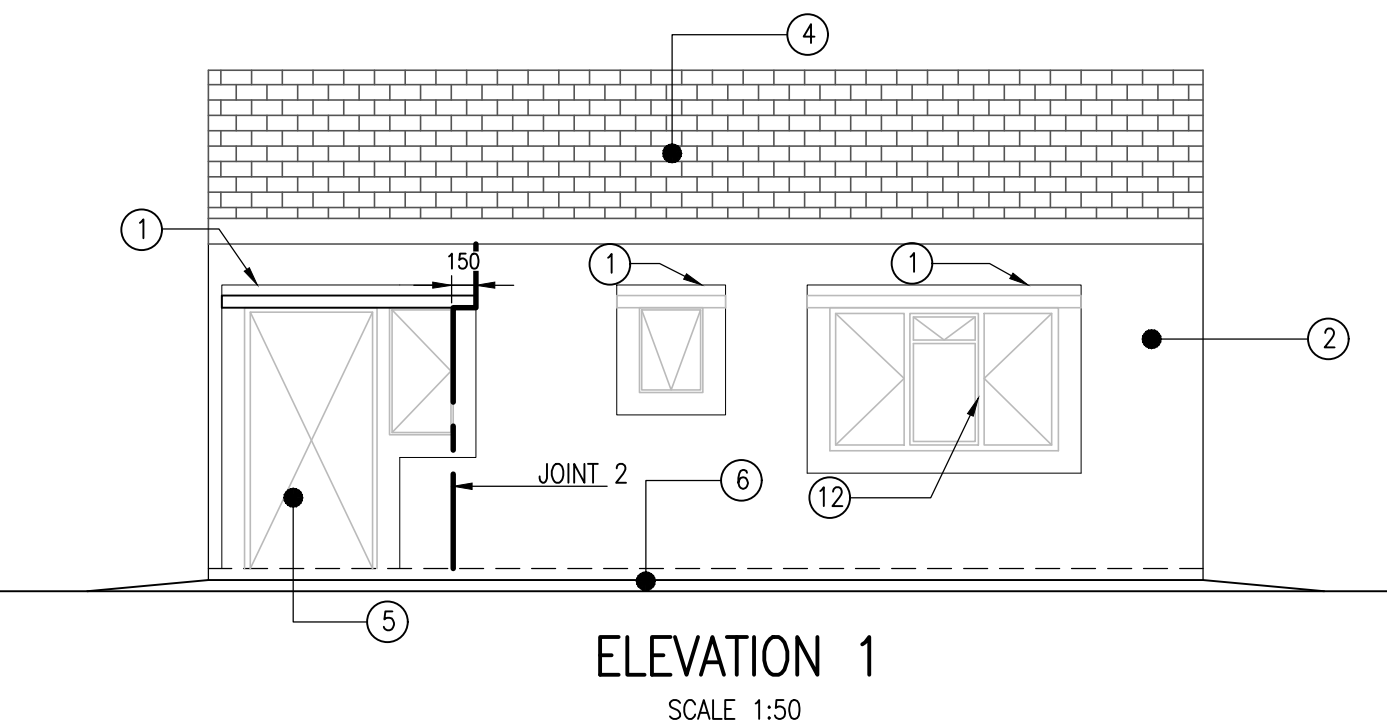
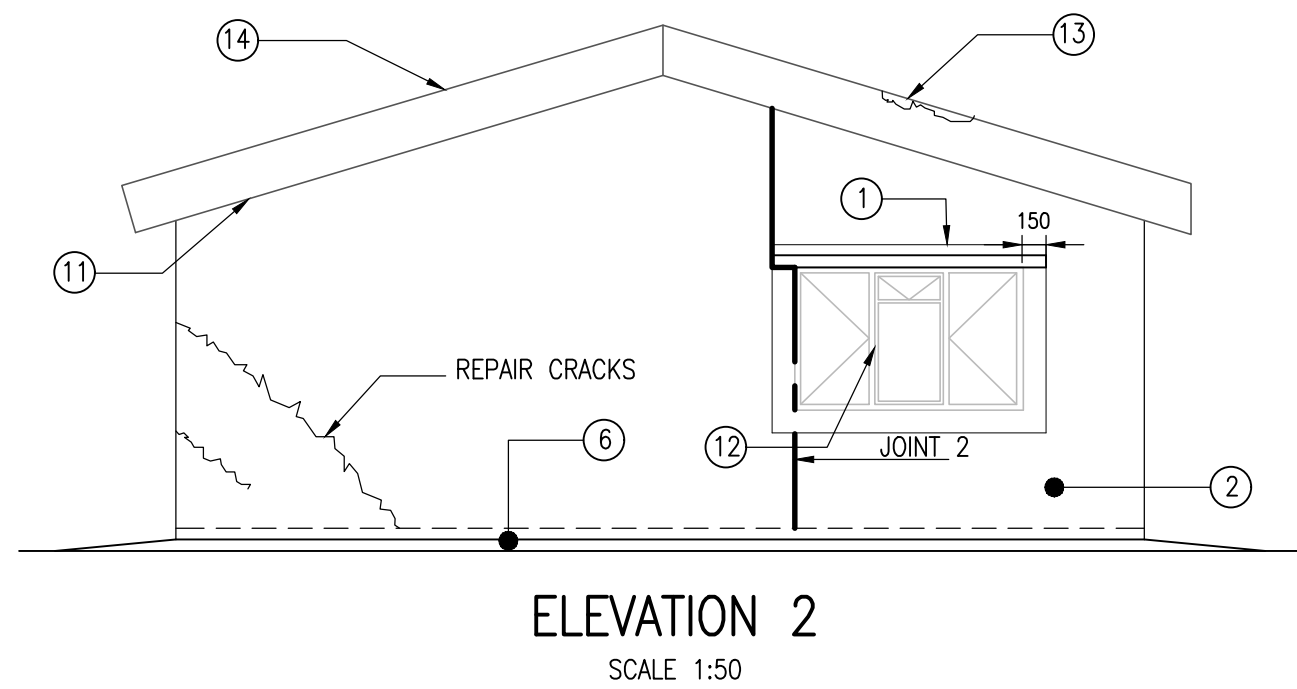
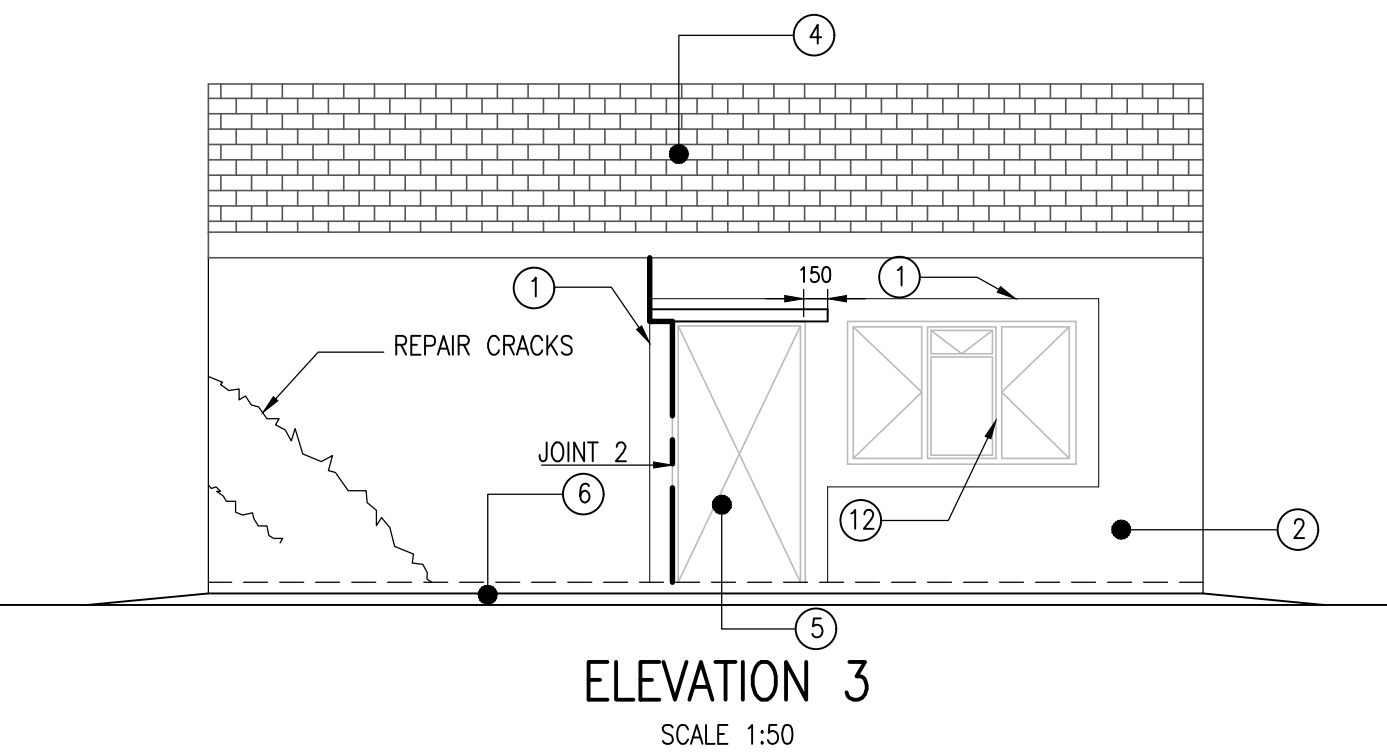
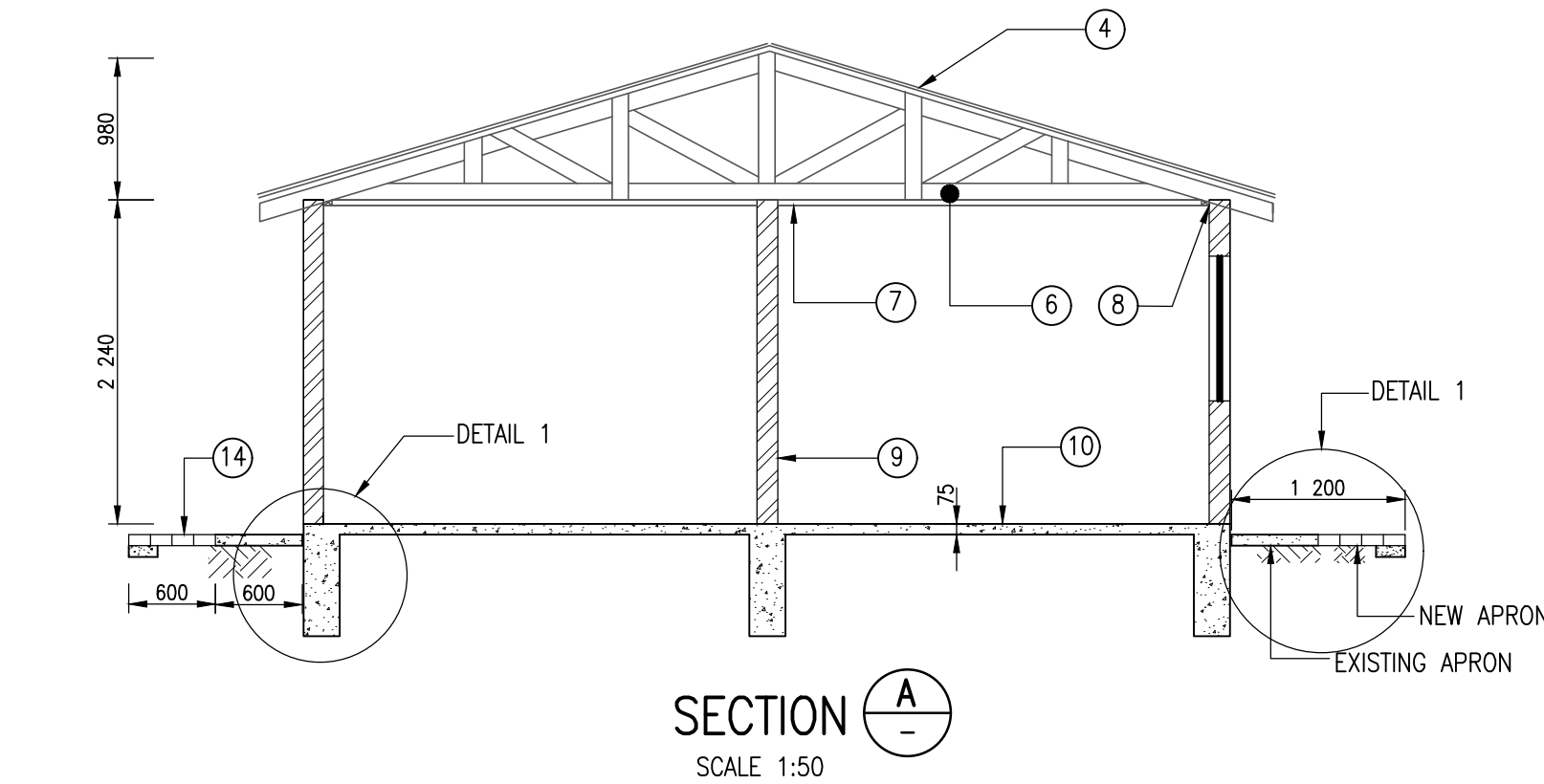
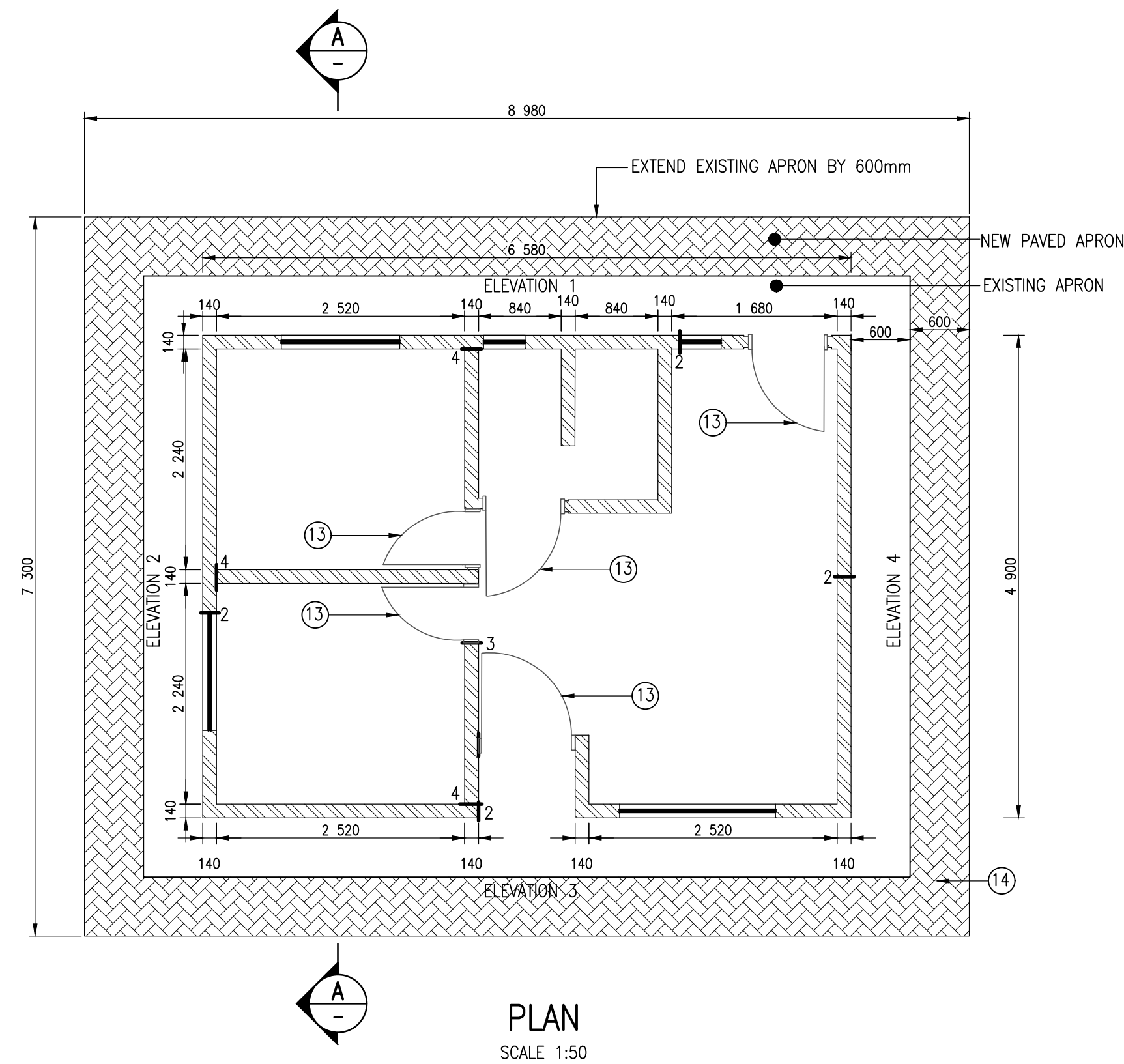
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DRAWN	K. Senyolo	CHECKED	F. de Kock
APPROVED ON BEHALF OF BIGN:		ECSA Reg. No:	
ENGINEER: _____		DATE: _____	
DRAWING No: 2334.50.02.SUA.14.U011			VERSION: 1.0
APPROVED: _____			
CLIENT OR ASSIGNEE: _____		DATE: _____	
CLIENT: _____		CLIENT: _____	
DRAWING No.: _____		REF. No.: _____	



1. 150X10MM THICK PLASTER BAND AROUND ALL EXTERNAL WINDOWS AND DOORS.
2. REPAIR ALL EXTERIOR WALLS
3. REMOVE AND REPLACE LOOSE BEAM FILLING
4. REMOVE AND RE-FIX TILES AND UNDERLAY
5. REPLACE DAMAGED DOORS, DOOR FRAME, STRIKER PLATE AND LOCK SETS
6. INSTALL LIGHTWEIGHT STEEL BRANDING 300 C/C
7. REMOVE ALL PVC CEILINGS AND REPLACE WITH GYPSUM CEILINGS
8. INSTALL CORNICE AS PER DETAIL
9. FILL CRACKS IN PLASTER AND PAINT
10. REPAIR SCREEDS WHERE LOOSE AND MISSING
11. INSTALL FACIA BOARDS
12. INSTALL FOAM SEALING STRIP AND REPAIR SLIDERS AND PEG STAYS TO ALL WINDOWS
13. REPLACE DAMAGED DOORS, DOOR FRAME, STRIKER PLATE AND LOCK SETS
14. 60MM PAVING WITH DAMP-PROOF COURSE

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 5. 150mm WIDE PLASTER BAND AROUND ALL WINDOWS AND DOORS

AS-BUILT RECORD			
CONTRACT No.	DESCRIPTION	CERTIFIED BY	DATE

CERTIFIED AS-BUILT FOR CONTRACT :	
ECSA Reg. No:	
ENGINEER	DATE

VERSION/AMENDMENTS			
No.	DATE	DESCRIPTION	AUTHORISED BY
1.0	2021/03/17	ISSUED FOR TENDER	F. DE KOCK

PROJECT TITLE:

**LERATO PARK
REPAIR OF 491 RDP HOUSES**

DRAWING TITLE:

**SEMDETACHED HOUSE 32M²
PLAN, SECTION & ELEVATION**

DATE: 2019/04/03	CO-ORDINATE SYSTEM:
ORIGINAL DRAWING SCALE: AS SHOWN	ORIGINAL DRAWING SHEET SIZE: A1

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DRAWN	K. Senyolo	CHECKED	F. de Kock
APPROVED ON BEHALF OF BIGEN:		ECSA Reg. No:	
ENGINEER:		DATE:	
DRAWING No:		VERSION:	
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APPROVED:		DATE:	
CLIENT OR ASSIGNEE:		DATE:	
CLIENT:		CLIENT:	
DRAWING No.:		REF No.:	

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